

# Vendor Statement

The vendor makes this statement in respect of the land in accordance with section 32 of the *Sale of Land Act 1962*.

This statement must be signed by the vendor and given to the purchaser before the purchaser signs the contract.  
The vendor may sign by electronic signature.

The purchaser acknowledges being given this statement signed by the vendor with the attached documents before the purchaser signed any contract.

|      |                                      |
|------|--------------------------------------|
| Land | 17 ELIZABETH AVENE, DROMANA VIC 3936 |
|------|--------------------------------------|

|                    |                    |      |     |
|--------------------|--------------------|------|-----|
| Vendor's name      | Paskali Christou   | Date | / / |
| Vendor's signature | <hr/>              |      |     |
| Vendor's name      | Leisa May Christou | Date | / / |
| Vendor's signature | <hr/>              |      |     |

|                       |      |
|-----------------------|------|
| Purchaser's name      | Date |
| Purchaser's signature | / /  |
| <hr/>                 |      |
| Purchaser's name      | Date |
| Purchaser's signature | / /  |
| <hr/>                 |      |



**Waterline Conveyancing Pty Ltd**

Shop 2, 1520 Bass Highway, Grantville VIC 3984

Ph: 0408 841 556      Ref: 20295

Email: [admin@waterlineconveyancing.com.au](mailto:admin@waterlineconveyancing.com.au)

## 1. FINANCIAL MATTERS

### 1.1 Particulars of any Rates, Taxes, Charges or Other Similar Outgoings (and any interest on them)

Mornington Shire Council and South East Water. **Their total does not exceed \$2,500.00pa**

### 1.2 Particulars of any Charge (whether registered or not) imposed by or under any Act to secure an amount due under that Act, including the amount owing under the charge

Not applicable

### 1.3 Terms Contract

This section 1.3 only applies if this vendor statement is in respect of a terms contract where the purchaser is obliged to make 2 or more payments (other than a deposit or final payment) to the vendor after the execution of the contract and before the purchaser is entitled to a conveyance or transfer of the land.

Not Applicable

### 1.4 Sale Subject to Mortgage

This section 1.4 only applies if this vendor statement is in respect of a contract which provides that any mortgage (whether registered or unregistered), is NOT to be discharged before the purchaser becomes entitled to possession or receipts of rents and profits.

Not Applicable

## 2. INSURANCE

### 2.1 Damage and Destruction

This section 2.1 only applies if this vendor statement is in respect of a contract which does NOT provide for the land to remain at the risk of the vendor until the purchaser becomes entitled to possession or receipt of rents and profits.

Not Applicable

### 2.2 Owner Builder

This section 2.2 only applies where there is a residence on the land that was constructed by an owner-builder within the preceding 6 years and section 137B of the Building Act 1993 applies to the residence.

Not Applicable

## 3. LAND USE

### 3.1 Easements, Covenants or Other Similar Restrictions

- (a) A description of any easement, covenant or other similar restriction affecting the land (whether registered or unregistered):

As set out in the attached copy Title documents

- (b) Particulars of any existing failure to comply with that easement, covenant or other similar restriction are:

None to the best of the vendors knowledge however sewer/drains and underground electricity pipes (if any) may be outside registered easements. The Purchaser should make their own enquiries as to whether any structures or buildings are constructed over any easements prior to signing the Contract, otherwise the purchaser accepts the location of all buildings and shall not make any claim in relation thereto

### 3.2 Road Access

There is NO access to the property by road if the square box is marked with an 'X'

☐

### 3.3 Designated Bushfire Prone Area

The land is in a designated bushfire prone area within the meaning of regulations made under the *Building Act* 1993 if the square box is marked with an 'X'

☐

### 3.4 Planning Scheme

Attached is a certificate with the required specified information.

#### 4. NOTICES

##### 4.1 Notice, Order, Declaration, Report or Recommendation

Particulars of any notice, order, declaration, report or recommendation of a public authority or government department or approved proposal directly and currently affecting the land, being a notice, order, declaration, report, recommendation or approved proposal of which the vendor might reasonably be expected to have knowledge:

Not Applicable

##### 4.2 Agricultural Chemicals

There are NO notices, property management plans, reports or orders in respect of the land issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the land for agricultural purposes. However, if this is not the case, the details of any such notices, property management plans, reports or orders, are as follows:

Nil

##### 4.3 Compulsory Acquisition

The particulars of any notices of intention to acquire that have been served under section 6 of the *Land Acquisition and Compensation Act 1986* are as follows:

Nil

**The vendor has no means of knowing of all decisions of public authorities and Government departments affecting the property unless communicated to the Vendor.**

#### 5. BUILDING PERMITS

Particulars of any building permit issued under the *Building Act 1993* in the preceding 7 years (required only where there is a residence on the land):

Are contained in the attached certificates

#### 6. OWNERS CORPORATION

This section 6 only applies if the land is affected by an owners corporation within the meaning of the *Owners Corporations Act 2006*.

Not Applicable

#### 7. GROWTH AREAS INFRASTRUCTURE CONTRIBUTION ("GAIC")

Words and expressions in this section 7 have the same meaning as in Part 9B of the *Planning and Environment Act 1987*.

Not Applicable

#### 8. SERVICES

The services which are marked with an 'X' in the accompanying square box are NOT connected to the land:

|                                             |                                     |                                       |                                   |                                             |
|---------------------------------------------|-------------------------------------|---------------------------------------|-----------------------------------|---------------------------------------------|
| Electricity supply <input type="checkbox"/> | Gas supply <input type="checkbox"/> | Water supply <input type="checkbox"/> | Sewerage <input type="checkbox"/> | Telephone services <input type="checkbox"/> |
|---------------------------------------------|-------------------------------------|---------------------------------------|-----------------------------------|---------------------------------------------|

Even if services are connected to the land it may nevertheless be necessary for the Purchaser to request a connection and supply in the name of the Purchaser from the relevant authority or service provider. Any costs associated with the provision or connection of any services to the property must be borne by the Purchaser and the Purchaser should satisfy itself of those costs before entering into a Contract.

#### 9. TITLE

Attached are copies of the following documents:

##### 9.1 ☒ (a) Registered Title

A Register Search Statement and the document, or part of a document, referred to as the 'diagram location' in that statement which identifies the land and its location.

## 10. SUBDIVISION

### 10.1 Unregistered Subdivision

This section 10.1 only applies if the land is subject to a subdivision which is not registered.

Not Applicable

### 10.2 Staged Subdivision

This section 10.2 only applies if the land is part of a staged subdivision within the meaning of section 37 of the *Subdivision Act 1988*.

- (a) ☐ Attached is a copy of the plan for the first stage if the land is in the second or subsequent stage.
- (b) The requirements in a statement of compliance relating to the stage in which the land is included that have Not been complied With are As follows:

NIL

- (c) The proposals relating to subsequent stages that are known to the vendor are as follows:

NIL

- (d) The contents of any permit under the Planning and Environment Act 1987 authorising the staged subdivision are:

NIL

### 10.3 Further Plan of Subdivision

This section 10.3 only applies if the land is subject to a subdivision in respect of which a further plan within the meaning of the *Subdivision Act 1988* is proposed.

Not Applicable

## 11. DISCLOSURE OF ENERGY INFORMATION

*(Disclosure of this information is not required under section 32 of the Sale of Land Act 1962 but may be included in this vendor statement for convenience.)*

Details of any energy efficiency information required to be disclosed regarding a disclosure affected building or disclosure area affected area of a building as defined by the *Building Energy Efficiency Disclosure Act 2010* (Cth)

- (a) to be a building or part of a building used or capable of being used as an office for administrative, clerical, professional or similar based activities including any support facilities; and
- (b) which has a net lettable area of at least 2000m<sup>2</sup>; (but does not include a building under a strata title system or if an occupancy permit was issued less than 2 years before the relevant date):

Not Applicable

## 12. DUE DILIGENCE CHECKLIST

*(The Sale of Land Act 1962 provides that the vendor or the vendor's licensed estate agent must make a prescribed due diligence checklist available to purchasers before offering land for sale that is vacant residential land or land on which there is a residence. The due diligence checklist is NOT required to be provided with, or attached to, this vendor statement but the checklist may be attached as a matter of convenience.)*

Is attached.

## 13. ATTACHMENTS

*(Any certificates, documents and other attachments may be annexed to this section 13)*

*(Additional information may be added to this section 13 where there is insufficient space in any of the earlier sections)*

*(Attached is an "Additional Vendor Statement" if section 1.3 (Terms Contract) or section 1.4 (Sale Subject to Mortgage) applies)*

Registered Search Certificate of Title Volume 12001 Folio 792 and Plan of Subdivision 737585H

Council & South East Water rate notices, South East Water Information Statement

Building Permit, Certificate of Occupancy, S137B Inspection Report

Planning Certificate, Property Reports & zoning

Due Diligence Checklist



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 12001 FOLIO 792

Security no : 124086086621P  
Produced 16/10/2020 12:16 PM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 737585H.  
PARENT TITLE Volume 06840 Folio 920  
Created by instrument PS737585H 23/07/2018

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Joint Proprietors  
PASKALI CHRISTOU  
LEISA MAY CHRISTOU both of 17 ELIZABETH AVENUE DROMANA VIC 3936  
PS737585H 23/07/2018

**ENCUMBRANCES, CAVEATS AND NOTICES**

COVENANT 1888418

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AQ639708E 16/01/2018

**DIAGRAM LOCATION**

SEE PS737585H FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 17A ELIZABETH AVENUE DROMANA VIC 3936

DOCUMENT END



## Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Victorian Land Registry Services.

|                                                 |                         |
|-------------------------------------------------|-------------------------|
| Document Type                                   | <b>Plan</b>             |
| Document Identification                         | <b>PS737585H</b>        |
| Number of Pages<br>(excluding this cover sheet) | <b>2</b>                |
| Document Assembled                              | <b>16/10/2020 12:18</b> |

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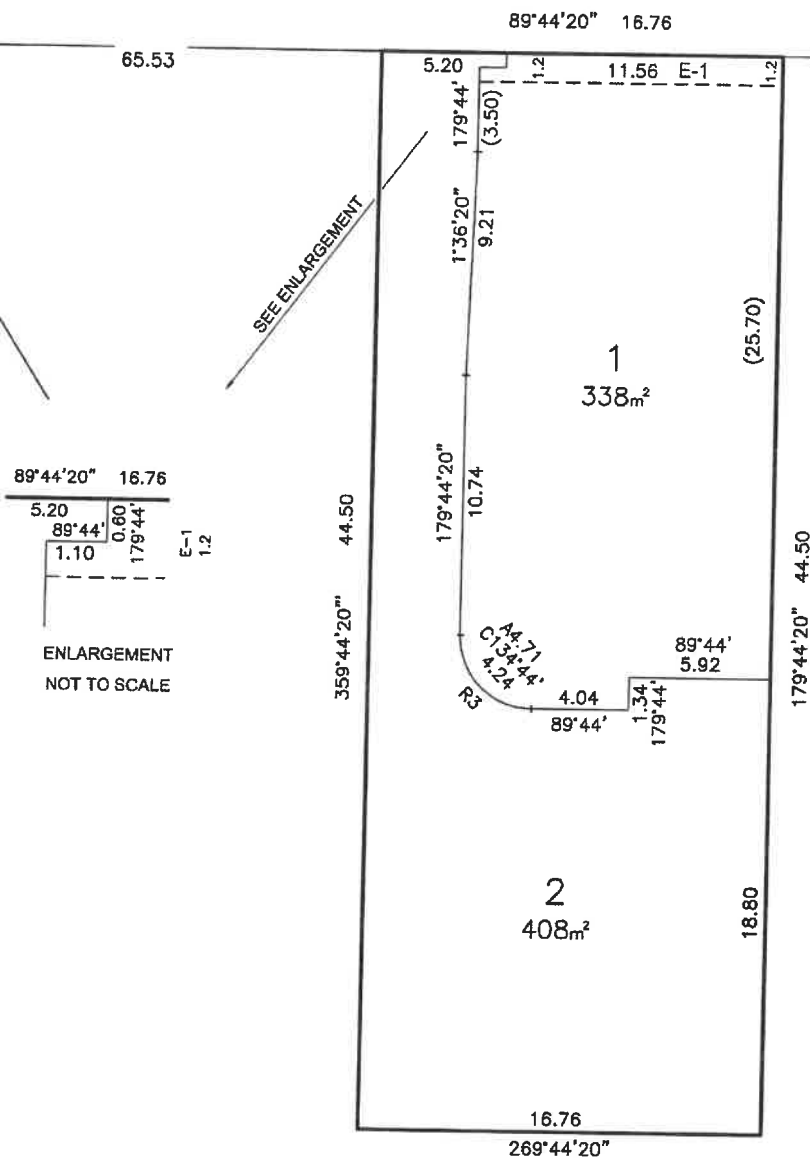
The document is invalid if this cover sheet is removed or altered.

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|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|
| PLAN OF SUBDIVISION                                                                                                                                                          |                                      |                                                                                                                                                                | EDITION 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | PS 737585H                                                             |
| LOCATION OF LAND                                                                                                                                                             |                                      |                                                                                                                                                                | <p>Council Name: Mornington Peninsula Shire Council</p> <p>Council Reference Number: S17/5309<br/>Planning Permit Reference: P15/1222<br/>SPEAR Reference Number: S113183H</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made</p> <p>Digitally signed by: Bethany Hughes for Mornington Peninsula Shire Council on 21/12/2017</p> <p>Statement Of Compliance issued: 10/07/2018</p> |                                                                        |
| PARISH                                                                                                                                                                       | KANGERONG                            |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| CROWN ALLOTMENT                                                                                                                                                              | 12 (PART)                            |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| SECTION                                                                                                                                                                      | 1                                    |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| AT DROMANA                                                                                                                                                                   |                                      |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| TITLE REFERENCE                                                                                                                                                              | VOL 6840 FOL 920                     |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| LAST PLAN REFERENCE                                                                                                                                                          | LOT 201 LP 12635                     |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| POSTAL ADDRESS<br>(AT TIME OF SUBDIVISION)                                                                                                                                   | 17 ELIZABETH AVENUE,<br>DROMANA 3936 |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| MGA94 CO-ORDINATES: E 322 731      ZONE : 55<br>APPROX CENTRE OF LAND      N 5 754 570      GDA 94                                                                           |                                      |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| VESTING OF ROADS AND/OR RESERVES                                                                                                                                             |                                      |                                                                                                                                                                | NOTATIONS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                        |
| IDENTIFIER                                                                                                                                                                   | COUNCIL/BODY/PERSON                  |                                                                                                                                                                | <p>DEPTH LIMITATION DOES NOT APPLY</p> <p>THIS IS NOT A STAGED SUBDIVISION</p> <p>PLANNING PERMIT No. P15/1222</p> <p>THIS SURVEY HAS BEEN CONNECTED TO<br/>PERMANENT MARK Nos. 91 &amp; 82</p> <p>THIS PLAN IS BASED ON SURVEY<br/>PROCLAIMED SURVEY AREA No.73</p>                                                                                                                                                                                                                                                                                               |                                                                        |
| NIL                                                                                                                                                                          | NIL                                  |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
|                                                                                                                                                                              |                                      |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
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|                                                                                                                                                                              |                                      |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| EASEMENT INFORMATION                                                                                                                                                         |                                      |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| LEGEND: A – APPURTENANT EASEMENT E – ENCUMBERING EASEMENT R – ENCUMBERING EASEMENT (ROAD)                                                                                    |                                      |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO BOTH LOTS ON THIS PLAN                                                                                                  |                                      |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| EASEMENT REFERENCE                                                                                                                                                           | PURPOSE                              | WIDTH (METRES)                                                                                                                                                 | ORIGIN                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | LAND BENEFITED/IN FAVOUR OF                                            |
| E-1                                                                                                                                                                          | SEWERAGE                             | 1.2                                                                                                                                                            | THIS PLAN                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | LOT 2 ON THIS PLAN                                                     |
|                                                                                                                                                                              |                                      |                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |
| <b>R. G. MARSELLA PTY. LTD</b><br><b>CONSULTING SURVEYORS</b><br>c/o W. K. H. 2/307 MAIN ST.,<br>MORNINGTON VIC 3931<br>PH 5975 2641<br><small>e-mail rgm@tpg.com.au</small> |                                      | REF 15677<br><br>Digitally signed by: RICCARDO GIACOMO MARSELLA<br>(R.G. Marsella Pty Ltd),<br>Surveyor's Plan Version (4),<br>21/12/2017, SPEAR Ref: S113183H | ORIGINAL SHEET<br>SIZE: A3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | SHEET 1 OF 2<br><br>PLAN REGISTERED<br>TIME: 12:34pm<br>DATE: 23/07/18 |
|                                                                                                                                                                              |                                      | B.J.S.<br>Assistant Registrar<br>of Titles                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |

PS 737585H

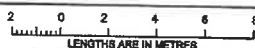
ELIZABETH AVENUE

FRIEDA STREET



R. G. MARSELLA PTY. LTD  
CONSULTING SURVEYORS  
c/o W. K. H. 2/307 MAIN ST.,  
MORNINGTON VIC 3931  
PH 5975 2641  
e-mail rgm@tpg.com.au

SCALE  
1:200



Digitally signed by: RICCARDO GIACOMO MARSELLA  
(R.G. Marsella Pty Ltd),  
Surveyor's Plan Version (4),  
21/12/2017, SPEAR Ref: S113183H

ORIGINAL SHEET  
SIZE: A3

SHEET 2

Digitally signed by:  
Mornington Peninsula Shire Council,  
21/12/2017,  
SPEAR Ref: S113183H

Mornington Peninsula Shire  
Private Bag 1000,  
Besgrove Street, Rosebud 3939

RN  
2020

ABN 53 159 890 143

For general enquiries, call us or visit our website

• [mornpen.vic.gov.au](http://mornpen.vic.gov.au)

• 1300 850 600 (local call, fees apply)



P Christou & L M Christou  
17 Elizabeth Avenue  
DROMANA VIC 3936



032  
1058361  
R7\_8951

#### Property details

17 Elizabeth Avenue DROMANA VIC 3936  
Lot 1 PS 737585 Vol 12001 Fol 792

#### Site Value:

\$315,000

#### Capital improved value

\$385,000

#### Net annual value

\$19,250

#### AVPCC

110 - Residential

#### Date of issue

28/08/2020

#### Date of declaration

18/08/2020

#### Date of valuation

01/01/2020

#### Financial details

|                                           |          |
|-------------------------------------------|----------|
| Residential Improved<br>(0.0016728 X CIV) | \$644.00 |
| Waste Service Charge                      | \$322.00 |

#### Total Shire rates and charges

\$966.00

Fire Service Levy Residential Fixed

\$113.00

Fire Service Levy Residential Variable (0.000054 X CIV)

\$20.75

#### Total State Government Fire Levy

\$133.75

#### Balance due

\$1,099.75

The rating year is from 01/07/2020 to 30/06/2021. Please check BPAY reference number before making any payments. Important Interest on late payments will be charged at 10.00% p.a. See reverse for details and important information. If 1st instalment payment is not received by 30 September 2020, total amount must be received by 15 February 2021. Please note a \$20.00 charge will apply if another copy of this notice is requested.

#### Green/hard waste voucher

Non-transferable. Expires 30 September 2021.

20200114664303



#### Green/hard waste voucher

Non-transferable. Expires 30 September 2021.

20200114664303



#### Green/hard waste voucher

Non-transferable. Expires 30 September 2021.

20200114664303



Bill code: 20537  
Ref no: 4001466436

BPAY® this payment via Internet or phone banking. BPAY View® View and pay this bill using internet banking.

BPAY View Registration No: 4001466436



Post Billpay code: 3064  
Ref no: 1466 436

Pay in person at any post office, by phone  
• 13 18 16 or go to • [postbillpay.com.au](http://postbillpay.com.au)



\*3064 1466436

Property location: 17 Elizabeth Avenue  
Name: P Christou & L M Christou  
Property number: 146643

|                      |            |                    |            |
|----------------------|------------|--------------------|------------|
| Full payment amount: | \$1,099.75 | Instalment amount: | \$275.05   |
| Full payment due:    | 15/02/2021 | Instalment due:    | 30/09/2020 |



#### For emailed notices

• [mornpen.enotices.com.au](http://mornpen.enotices.com.au)

Ref no: B53667E6FL



Council use only

# 2020-21

## Rates and Valuation Notice



MORNINGTON  
PENINSULA  
Shire

#### Property number

146643

#### Total amount due

\$1,099.75

#### Arrears (due immediately)

\$0.00

#### Current payable

\$1,099.75

15/02/2021

#### Instalments

|     |          |                |
|-----|----------|----------------|
| 1st | \$275.05 | Due 30/09/2020 |
| 2nd | \$274.90 | Due 30/11/2020 |
| 3rd | \$274.90 | Due 01/03/2021 |
| 4th | \$274.90 | Due 31/05/2021 |



MORNINGTON  
PENINSULA  
Shire



032/005186  
Paskali & Leisa M Christou  
17 Elizabeth Ave  
DROMANA VIC 3936

*pd  
x 2 accounts  
18/9/20*

**Payments (Visa/MasterCard) & account balances:**  
southeastwater.com.au or call 1300 659 658  
**Account enquiries:**  
southeastwater.com.au/enquiries or call 131 851  
Mon-Fri 8am to 6pm  
**Faults and emergencies (24/7):**  
live.southeastwater.com.au or call 132 812  
**Interpreter service:**  
For all languages 9209 0130  
TTY users 133 677 (ask for 131 851)

Account number: 26389572  
Date due: 17 September 2020

| Last bill | Payments received | Balance | Current charges | Total due |
|-----------|-------------------|---------|-----------------|-----------|
| \$182.35  | – \$182.35cr      | \$0.00  | + \$255.60      | \$255.60  |

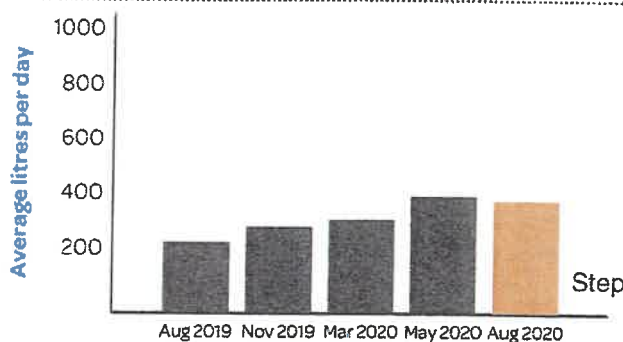
## Your account breakdown

|                                     |                                         |
|-------------------------------------|-----------------------------------------|
| Issue date                          | 31 August 2020                          |
| Property                            | 17 ELIZABETH AVENUE<br>DROMANA VIC 3936 |
| Property reference                  | 02B//00190/17                           |
| Last bill                           | \$182.35                                |
| Payment received                    | \$182.35cr                              |
| Balance brought forward             | \$0.00                                  |
| Our charges (no GST)                | \$232.73                                |
| Concessions applied                 | \$82.20cr                               |
| Other authorities' charges (no GST) | \$105.10                                |
| <b>Total due</b>                    | <b>\$255.60</b>                         |

## Your snapshot

|                         |            |
|-------------------------|------------|
| Average daily water use | 382 litres |
| Average daily cost      | \$2.55     |

## Your water use



## Important note:

We're keeping our bills stable in 2020-21. Full details on prices and charges at [southeastwater.com.au/residentialprices](http://southeastwater.com.au/residentialprices)

This bill may seem more as it includes the annual parks charge. The state government uses it for the upkeep of parks, gardens, zoos and the Shrine.

## Previous bills

|                                       |     |     |     |    |    |
|---------------------------------------|-----|-----|-----|----|----|
| Number of people in a household       | 1   | 2   | 3   | 4  | 5  |
| Average daily use (litres) per person | 382 | 191 | 127 | 95 | 76 |
| Meeting Target 153?                   | X   | X   | ✓   | ✓  | ✓  |

## Payment options



**Direct debit**  
Set up payments at [mysoutheastwater.com.au](http://mysoutheastwater.com.au)



**BPAY<sup>®</sup> (Up to \$20,000)**  
Bill code: 24208 Ref: 1002 6389 5700 002



**Credit card**  
Pay by Visa or MasterCard at [southeastwater.com.au](http://southeastwater.com.au) or call 1300 659 658



**EFT (Electronic Funds Transfer)**  
BSS: 033-874 Account number: 26389572  
Account name: South East Water Corporation



**Postbillpay**  
Billpay Code: 0361 Ref: 1002 6389 5700 002  
Call 131 816 Visit: [postbillpay.com.au](http://postbillpay.com.au)  
Or visit an Australia Post store.



**Centrepay**  
Arrange regular deductions from your Centrelink payments visit [humanservices.gov.au/centrepay](http://humanservices.gov.au/centrepay) CRN:555 050 387

**Total due:** \$255.60  
**Account number:** 26389572  
**Date paid:**  
**Receipt number:**

Property ref: 02B//00190/17  
17 ELIZABETH AVENUE  
DROMANA VIC 3936



\*361100263895700002

PN028

## Our charges

### Meter reading details

| Meter number | current read | previous read | consumption (kl) | Estimate or Actual read |
|--------------|--------------|---------------|------------------|-------------------------|
| SAK-030121   | 1240         | 1206          | 34               | A                       |

One kilolitre (kl) equals 1,000 litres.

Approximate date for next meter reading is **25 November 2020**.

**Water usage** For period 29/05/20 to 26/08/20 (89 days)  
Step 1 34 kl @ \$2.6301 per kl = **\$89.43**

**Sewage disposal**  
25.50 kl @ 97.07c per kl = **\$24.75**

**Total usage charges** **\$114.18**

Steps are calculated on a daily average up to 440 litres.

**Service charges** For period 01/07/20 to 30/09/20

Water service charge **\$25.53**

Sewerage service charge **\$93.02**

**Total service charges** **\$118.55**

**Our charges** **\$232.73**

### Other authorities' charges

| Net annual value capped at 1990 levels | Rate in \$ | Minimum charge | Charge         |
|----------------------------------------|------------|----------------|----------------|
| Parks \$4 200.00                       | 0.04710    | \$79.02        | <b>\$79.02</b> |

Waterways & Drainage charge  
01/07/20 to 30/09/20 **\$26.08**

**Total other authorities' charges** **\$105.10**

**Total current charges** **\$337.80**

## Our charges explained

Our charges cover the costs involved with delivering clean, safe water and safely removing and treating sewage for 1.87 million Melbourne residents. For more details about our charges, see [southeastwater.com.au/residentialprices](http://southeastwater.com.au/residentialprices)

### Other authorities' charges

#### Waterways & drainage charge

We collect this charge on behalf of Melbourne Water to help protect our rivers and creeks and improve drainage and flood management. For details, see [melbournewater.com.au](http://melbournewater.com.au). The charge is for **01/07/20 to 30/09/20**.

#### Annual parks charge

We collect the annual parks charge for the state government, and it's used for the upkeep of community places like Melbourne's parks, zoos, Royal Botanic Gardens and the Shrine of Remembrance. It's for the period **01/07/20 to 30/06/21**. For more information see [parks.vic.gov.au](http://parks.vic.gov.au)

### Additional information

#### Payment assistance

We have a range of payment solutions to help manage your bill. From payment plans to government assistance or more time to pay, find a solution to suit you at [southeastwater.com.au/paymentsupport](http://southeastwater.com.au/paymentsupport)

SERVICE CHARGES = ~~\$232.73~~

\$118.73

OTHER CHARGES = ~~\$105.10~~

\$223.83

JOINT  
ACC

USAGE = 114.18

- 82.20 (consumption) → MY ACCOUNT

\$31.98

## Never miss a bill

Switch to eBilling today at

[southeastwater.com.au/paperless](http://southeastwater.com.au/paperless)



**South East Water Corporation**

APN: 89 066 902 547

101 The Esplanade Frankston VIC 3199

PO Box 2365 Seaford VIC 3198 Australia

Waterline Conveyancing Pty Ltd C/-  
InfoTrack (Smokeball)  
E-mail:  
admin@waterlineconveyancing.com.au

Statement for property:  
LOT 201 17 ELIZABETH AVENUE  
DROMANA 3936  
201 LP 12635

| REFERENCE NO. | YOUR REFERENCE             | DATE OF ISSUE   | CASE NUMBER |
|---------------|----------------------------|-----------------|-------------|
| 02B//00190/17 | LANDATA CER 41677302-025-9 | 22 OCTOBER 2020 | 37408685    |

## 1. Statement of Fees Imposed

The property is classified as a serviced property with respect to charges which as listed below in the Statement of Fees.

### (c) By Other Authorities

|                                                          |                          |         |
|----------------------------------------------------------|--------------------------|---------|
| <b>Parks Victoria - Parks Service Charge</b>             | 01/07/2020 to 30/06/2021 | \$79.02 |
| <b>Melbourne Water Corporation Total Service Charges</b> | 01/10/2020 to 31/12/2020 | \$26.08 |

### (d) By South East Water

|                                 |                          |                 |
|---------------------------------|--------------------------|-----------------|
| <b>Water Service Charge</b>     | 01/10/2020 to 31/12/2020 | \$25.53         |
| <b>Sewerage Service Charge</b>  | 01/10/2020 to 31/12/2020 | \$93.02         |
| <b>Subtotal Service Charges</b> |                          | <u>\$223.65</u> |

**Payments** \$79.23

**TOTAL UNPAID BALANCE** \$144.42

- The meter at the property was last read on 26/08/2020. Fees accrued since that date may be estimated by reference to the following historical information about the property:

**Water Usage Charge** \$0.90 per day

**Sewage Disposal Charge** \$0.25 per day

- Financial Updates (free service) are only available online please go to (type / copy the complete address shown below): <https://secureapp.southeastwater.com.au/PropertyConnect/#/order/info/update>

\* Please Note: if usage charges appear above, the amount shown includes one or more of the following:

Water Usage, Recycled Water Usage, Sewage Disposal, Fire Service Usage and Trade Waste Volumetric Fees.

AUTHORISED OFFICER:



TERRY SCHUBACH  
GENERAL MANAGER  
CUSTOMER SERVICE DELIVERY

**South East Water**  
**Information Statement Applications**  
PO Box 2268, Seaford, VIC 3198

Interest may accrue on the South East Water charges listed in this statement if they are not paid by the due date as set out in the bill.

- The total annual service fees and volumetric fees for water usage and sewerage disposal for each class of property are set out at [www.southeastwater.com.au](http://www.southeastwater.com.au).
- Updates of rates and other charges will only be provided for up to six months from the date of this statement.
- If this property has recently been subdivided from a "parent" title, there may be service or other charges owing on the "parent" which will be charged to this property, once sold, that do not appear on this statement. You must contact us to see if there are any such charges as they may be charged to this property on sale and should therefore be adjusted with the owner of the parent title beforehand.
- If the property is sold, the vendor is liable to pay all fees incurred in relation to the property until the vendor gives South East Water a Notice of Disposition of Land required by the Water (Disposition of Land) Regulations 2010. Please include the Reference Number set out above in that Notice.
- Fees relating to the property may change from year-to-year in accordance with the Essential Service Commission's Price Determination for South East Water.
- Every fee referred to above is a charge against the property and will be recovered from a purchaser of the property if it is not paid by the vendor.
- Information about when and how outstanding fees may be paid, collected and recovered is set out in the Essential Services Commission's Customer Service Code, Urban Water Businesses.
- If this Statement only sets out rates and fees levied by Parks Victoria and Melbourne Water, the property may not be connected to South East Water's works. To find out whether the property is, or could be connected upon payment of the relevant charges, or whether it is separately metered, telephone 131 694.
- For a new connection to our water or sewer services, fees / charges will be levied.

## 2. Encumbrance Summary

Where available, the location of sewers is shown on the attached plan. Please ensure where manholes appear, that they remain accessible at all times "DO NOT COVER". Where driveways/paving is proposed to be constructed over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset effected. Where changes to the surface levels requires maintenance shafts/holes to be altered, all works must be carried out by South East Water approved contractors only. For information call 131694. For all other works, prior consent is required from south East Water for any construction over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset.

To assist in identifying if the property is connected to South East Waters sewerage system, connected by a shared, combined or encroaching drain, it is recommended you request a copy of the Property Sewerage Plan. A copy of the Property Sewerage Plan may be obtained for a fee at [www.southeastwater.com.au](http://www.southeastwater.com.au). Part of the Property Sewerage Branch servicing the property may legally be the property owners responsibility to maintain not South East Waters. Refer to Section 11 of South East Waters Customer Charter to determine if this is the case. A copy of the Customer Charter can be found at [www.southeastwater.com.au](http://www.southeastwater.com.au). When working in proximity of drains, care must be taken to prevent infiltration of foreign material and or ground water into South East Waters sewerage system. Any costs associated with rectification works will be charged to the property owner.

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

AUTHORISED OFFICER:



TERRY SCHUBACH  
GENERAL MANAGER  
CUSTOMER SERVICE DELIVERY

**South East Water**  
**Information Statement Applications**  
PO Box 2268, Seaford, VIC 3198

**ENCUMBRANCE ENQUIRY EMAIL [infostatements@sew.com.au](mailto:infostatements@sew.com.au)**

If no plan is attached to this Statement, South East Water is not aware of any works belonging to South East Water being present on the property.

If a plan is attached to this Statement, it indicates the nature of works belonging to South East Water, their approximate location, and the approximate location of any easement relating to those works.

**Important Warnings**

The map base for any attached plan is not created by South East Water which cannot and does not guarantee the accuracy, adequacy or completeness of any information in the plan, especially the exact location of any of South East Water's works, which may have changes since the attached plan was prepared. Their location should therefore be proven by hand before any works are commenced on the land.

Unless South East Water's prior written approval is obtained, it is an offence to cause any structure to be built or any filling to be placed on a South East Water easement or within 1 metre laterally of any of its works or to permit any structure to be built above or below any such area.

Any work that requires any South East Water manhole or maintenance shaft to be altered may only be done by a contractor approved by South East Water at the property owner's cost.

If the owner builds or places filling in contravention of that requirement, the owner will be required to pay the cost of any demolition or re-instatement of work that South East Water considers necessary, in order to maintain, repair or replace its asset.

This Statement does not include any information about current or outstanding consent issued for plumbing works on at the property.

**3. Disclaimer**

This Statement does not contain all the information about the property that a prospective purchaser may wish to know. Accordingly, appropriate enquiries should be made of other sources and information.

South East Water has prepared the information in this Statement with due care and diligence. It cannot and does not accept liability for any loss or damage arising from reliance on the information given, beyond the extent set out in section 155 of the Water Act 1989 and sections 18 and 29 of the Australian Consumer Law.

AUTHORISED OFFICER:



TERRY SCHUBACH  
GENERAL MANAGER  
CUSTOMER SERVICE DELIVERY

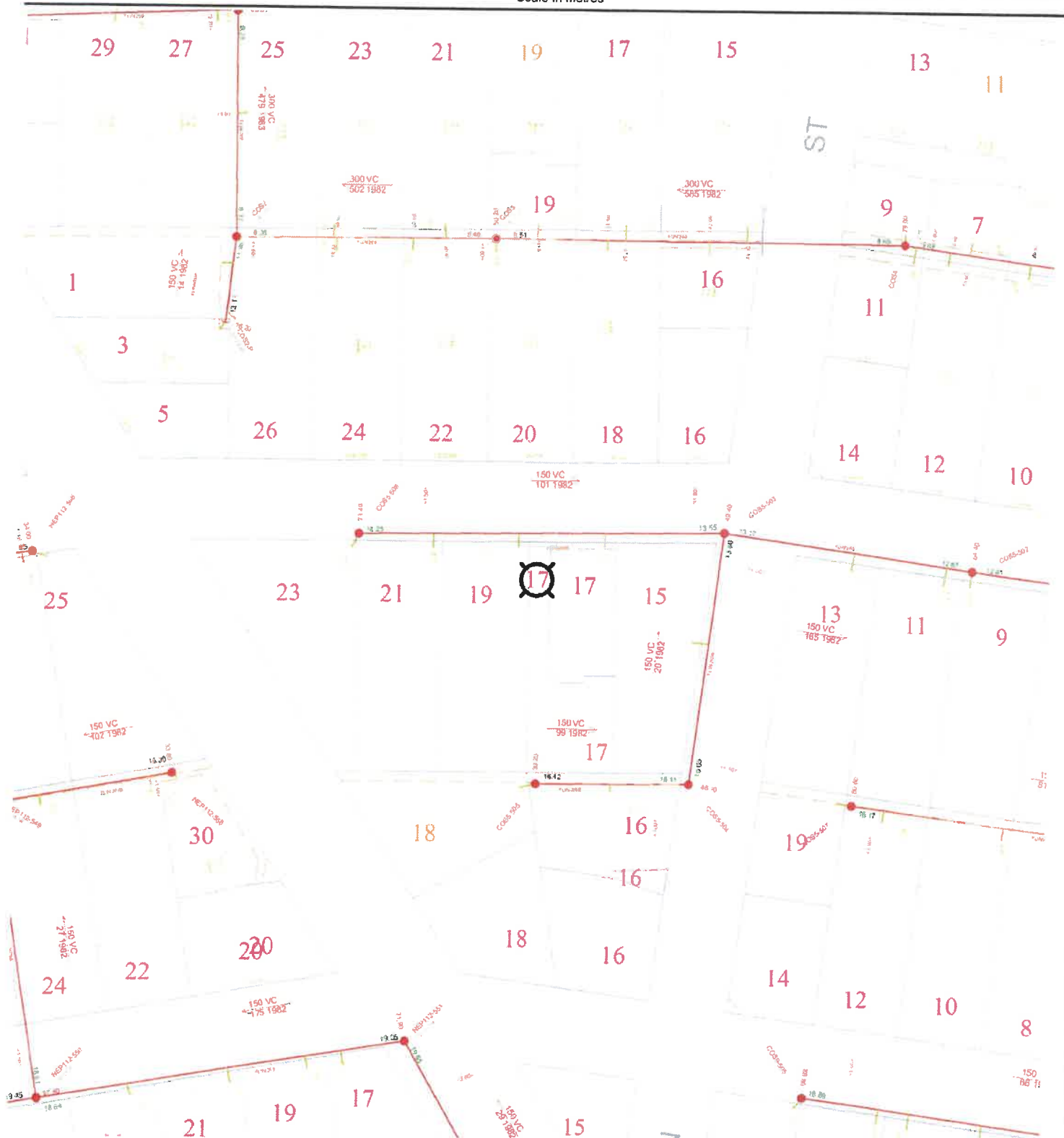
**South East Water**  
**Information Statement Applications**  
PO Box 2268, Seaford, VIC 3198

Case Number: 37408685

20                      0                      20                      40

Scale in Metres

Date: 22OCTOBER2020



**WARNING:** This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

|                               |                     |  |                                   |  |                        |
|-------------------------------|---------------------|--|-----------------------------------|--|------------------------|
|                               | Title/Road Boundary |  | Subject Property                  |  | Maintenance Hole       |
|                               | Proposed Title/Road |  | Sewer Main & Property Connections |  | Inspection Shaft       |
|                               | Easement            |  | Direction of Flow                 |  | Offset from Boundary   |
| <b>Melbourne Water Assets</b> |                     |  |                                   |  |                        |
|                               | Sewer Main          |  | Underground Drain                 |  | Natural Waterway       |
|                               | Maintenance Hole    |  | Channel Drain                     |  | Underground Drain M.H. |

# ASSET INFORMATION - WATER

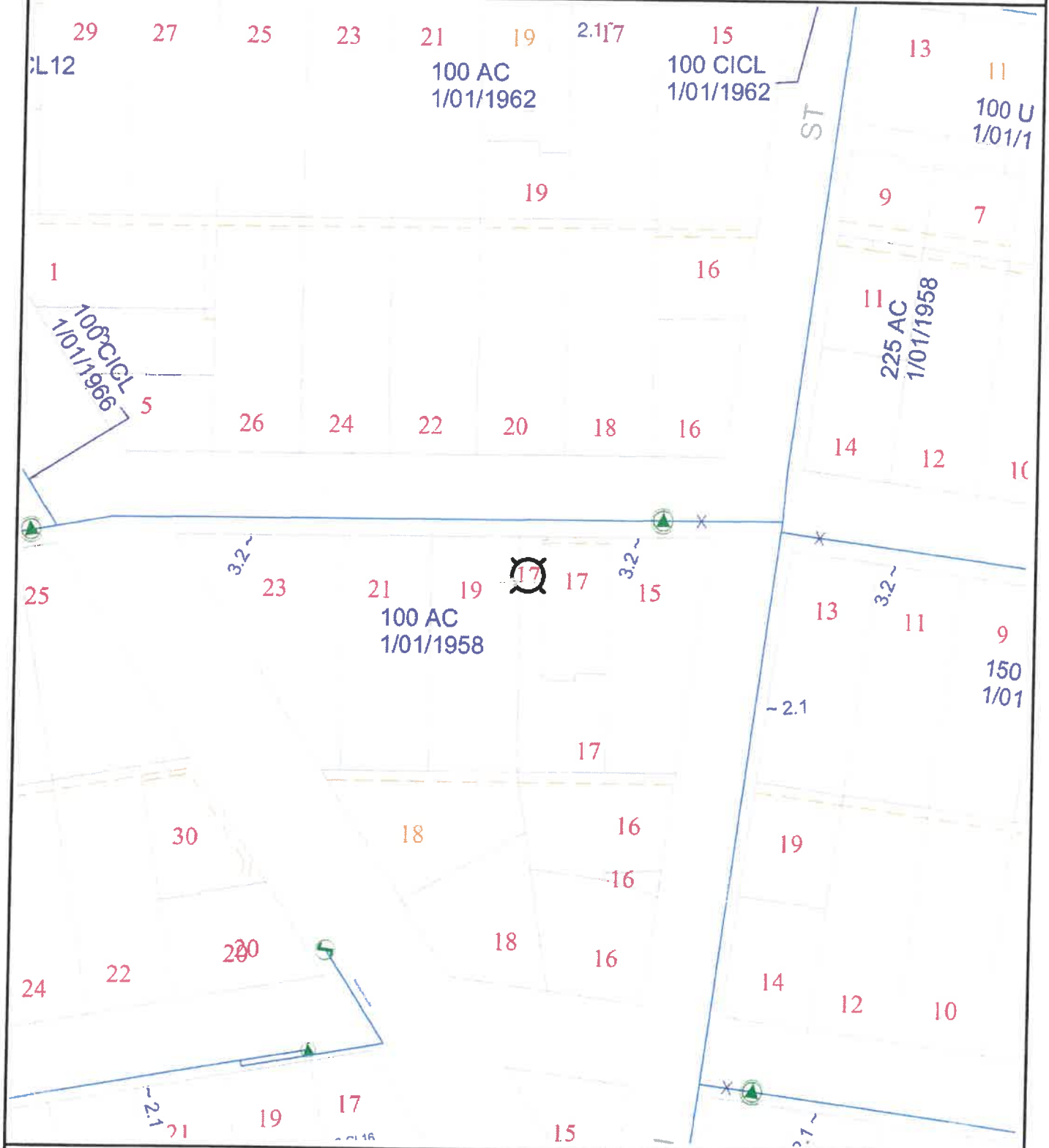
Property: Lot 201 17 ELIZABETH AVENUE DROMANA 3936



Case Number: 37408685



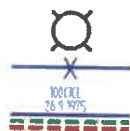
Date: 22OCTOBER2020



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## LEGEND

- Title/Road Boundary
- Proposed Title/Road
- Easement



- Subject Property
- Water Main Valve
- Water Main & Services

- Hydrant
- Fireplug/Washout
- ~ 1.0 Offset from Boundary

# ASSET INFORMATION - RECYCLED WATER

(RECYCLE WATER WILL APPEAR IF IT'S AVAILABLE)

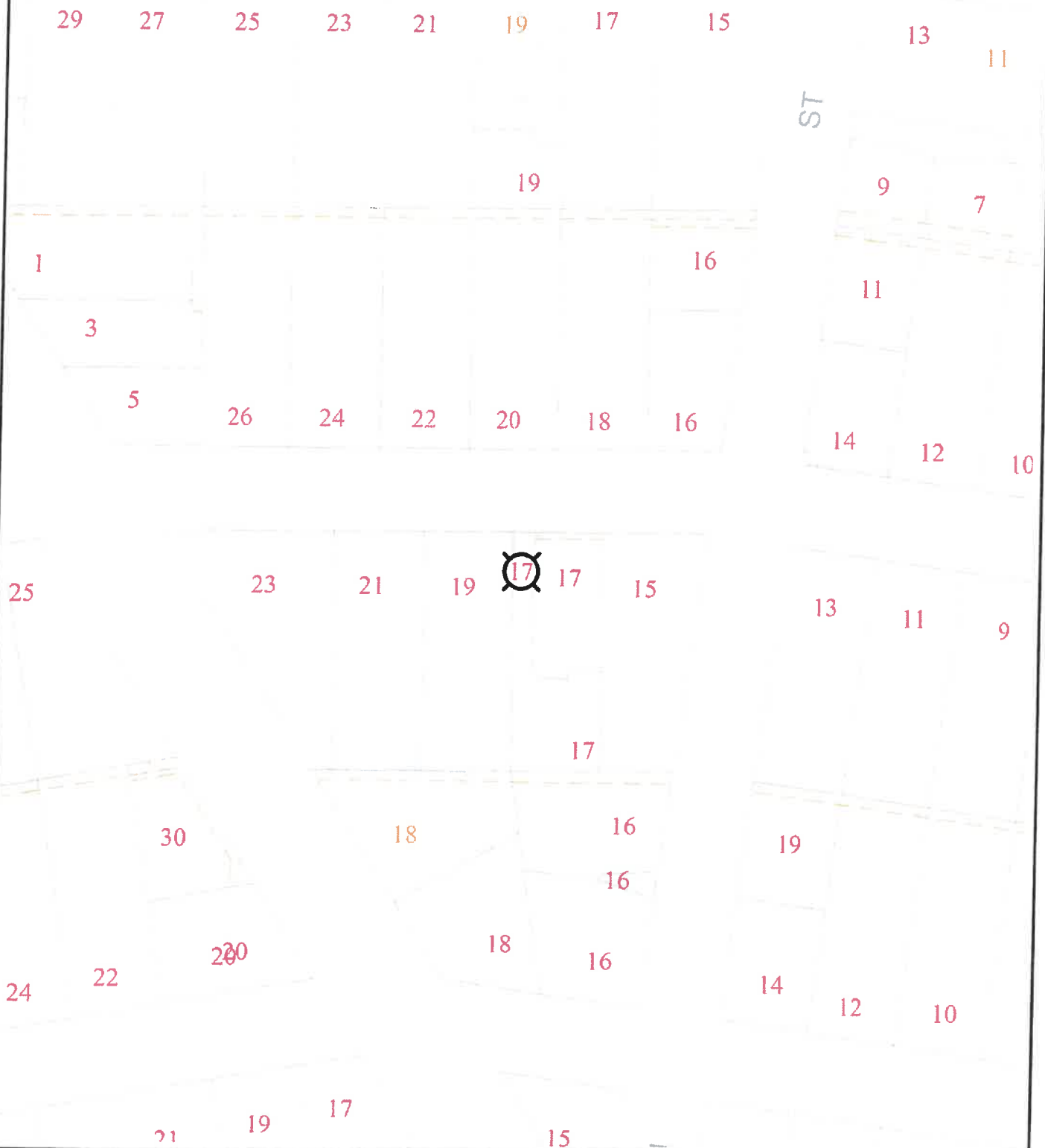
Property: Lot 201 17 ELIZABETH AVENUE DROMANA 3936



Case Number: 37408685



Date: 22OCTOBER2020



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## LEGEND

- Title/Road Boundary
- Proposed Title/Road
- Easement



- Subject Property
- Recycled Water Main Valve
- Recycled Water Main & Services

- Hydrant
- Fireplug/Washout
- Offset from Boundary

**BUILDING PERMIT**

Form 2

Building Act 1993

Building Regulations 2018

Regulation 37(1)

**Issued to:**

**Agent:** Alldraft  
**Address:** 4 Telford Close  
 MORNINGTON, VIC 3931  
**Contact:** Greg Dietzel  
**Email:** kgdietzel4@bigpond.com  
**Phone:** 0414 538 014

**Owner:** Leisa & Paskali Christou  
**Address:** 17 Elizabeth Avenue  
 DROMANA, VIC 3936  
**Contact:** Leisa & Paskali Christou  
**Email:** leisachristou1@gmail.com

**Address for serving or giving of documents:**

4 Telford Close  
 MORNINGTON VIC 3931

**Builder:** Leisa & Paskali Christou  
**Address:** 17 Elizabeth Avenue  
 DROMANA, VIC 3936  
**Contact:** Leisa & Paskali Christou  
**Email:** leisachristou1@gmail.com

This builder is specified under section 248(2)(b) of the Building Act 1993 for the building work to be carried out under this permit.  
 Natural person for service of directions, notices and order (If builder is a body corporate) as noted above.

**Property Details:**

|                |                     |                          |                  |
|----------------|---------------------|--------------------------|------------------|
| <b>Number:</b> | <b>Street/Road:</b> | <b>City/Suburb/Town:</b> | <b>Postcode:</b> |
| 17             | Elizabeth Avenue    | DROMANA                  | 3936             |

**Municipal district:** Mornington Peninsula Shire Council

|                     |                        |                          |                   |
|---------------------|------------------------|--------------------------|-------------------|
| <b>Lot/s:</b> 1     | <b>LP/PS:</b> PS737585 | <b>Volume:</b> 12001     | <b>Folio:</b> 792 |
| <b>Crown Allot:</b> | <b>Section:</b>        | <b>Parish:</b> Kangerong | <b>County:</b>    |

**Nature of Building Work:**  
 Construction of Carport

**Building Classification:**  
 10a

**Date of Issue of permit:** 15/11/2019  
**Building Permit No:** 7767750828850  
**NBP Ref No:** 201950715/0



## BUILDING PERMIT

|                                                           |                                |
|-----------------------------------------------------------|--------------------------------|
| Stages of Building Work Permitted:                        | As shown on the approved plans |
| Cost of Building Work:                                    | \$7,500                        |
| Total Floor Area of New Building Work in m <sup>2</sup> : | 0.0                            |
| Storeys contained: 1                                      | Rise in storeys: N/A           |
| Effective height: N/A                                     | Type of construction: N/A      |
| Version of BCA applicable to permit:                      | BCA 2016 Volume 2              |

### Inspection Requirements:

The mandatory notification stages are:

Pads Prior to Pouring Concrete

Framework Prior to Covering

Final

### Occupation or Use of Building:

A Certificate of Final Inspection is required prior to the occupation or use of this building.

If an occupancy permit is required, the permit is required for the whole of the building in relation to which the building work is carried out.

### Commencement and Completion:

This building work must be commenced by: 15/11/2020

If the building work to which this building permit applies is not commenced by this date, this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under Regulation 59 of the Building Regulations 2018.

This building work must be completed by: 15/11/2021

If the building work to which this building permit applies is not completed by this date, this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under Regulation 59 of the Building Regulations 2018.

### Practitioner or architect engaged to prepare documents for this permit:

|                    |                 |                  |
|--------------------|-----------------|------------------|
| Practitioner Name: | Category/Class: | Registration No: |
| Gregory Dietzel    | DP-AD           | 164              |

### Details of Relevant Planning Permit:

Planning Permit No: P15/1222

Date of grant of planning permit: 12/12/2015

|                          |               |
|--------------------------|---------------|
| Date of Issue of permit: | 15/11/2019    |
| Building Permit No:      | 7767750828850 |
| NBP Ref No:              | 201950715/0   |

Nepean Building Permits  
ABN 61 604 254 277  
GST 121 221 50  
1263 Pinn Nepean Blvd  
PO Box 1234  
Rosebud Victoria 3539



Nepean  
Building Permits

E info@nepeanbuildingpermits.com.au T 03 5986 2466 F 03 5986 2045 www.nepeanbuildingpermits.com.au

## BUILDING PERMIT

### Protection Work:

Protection work is not required in relation to the building work proposed in this permit.

### Permit Conditions:

This permit is subject to the following conditions:

- 1 Appropriate signage must be displayed at the front of the property visible to the public advising: Builders Name, Reg Number, contact details, Building Permit number and date of issue. Building Surveyors name, Reg Number and contact details.
- 2 Note: It is the owner/builder's responsibility to ensure that endorsed plans are kept on site during construction. These plans must be made available to relevant contractors at all times, to ensure compliance.

**Relevant Building Surveyor:**  
Comet Trail Pty Ltd

**Reg No:** CBS-U 58177  
**ACN:** 103281527

**Designated Building Surveyor:**  
Robert Holmes

**Reg No:** BS-U 1193

**Signature:**

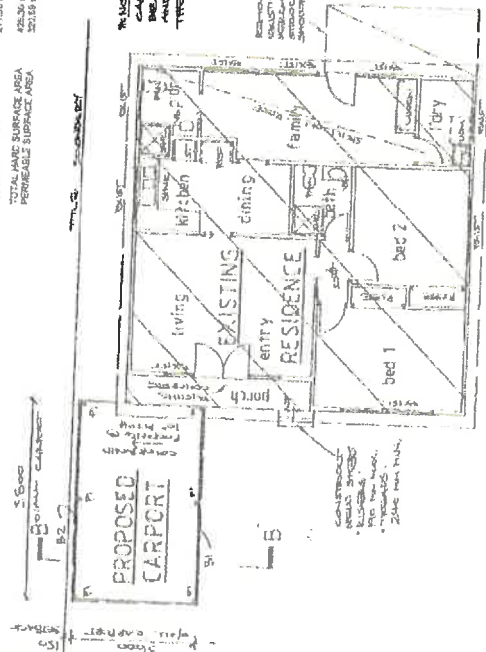
**Date of Issue of permit:** 15/11/2019  
**Building Permit No:** 7767750828850  
**NBP Ref No:** 201950715/0



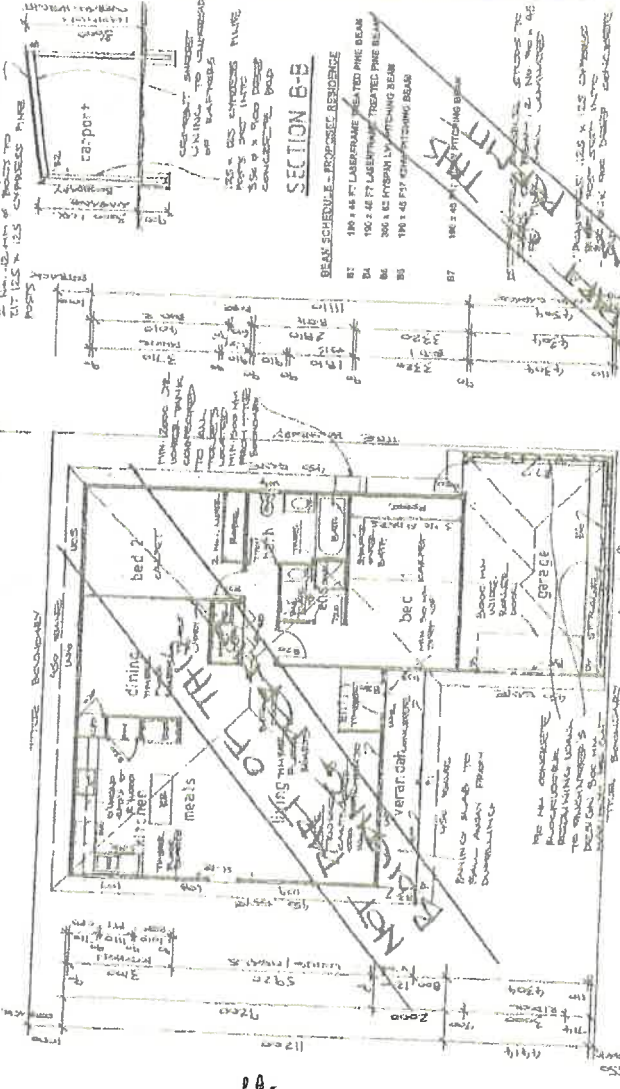
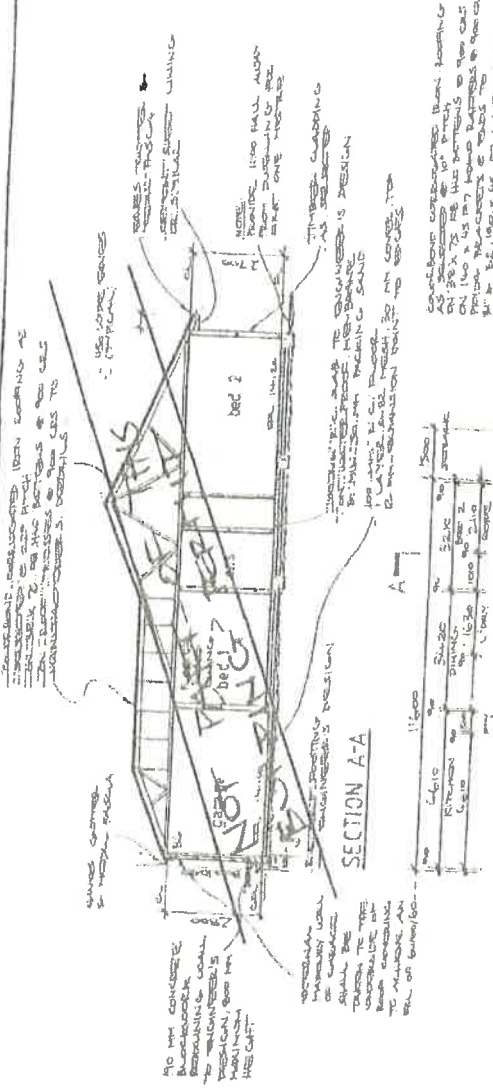


**Building Permit Endorsed Plan**  
 This is to certify that this document is  
 a true and correct copy of the Building  
 Regulations and the Building Act  
 Building Permit Dated  
 15 November 2019  
 JAMES SHAWBY BS11001, Clearing  
 Permit Holder BS11001  
 Phone: 02 5996 2466

- WINDOW SCHEDULE**
- W1 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W2 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W3 2100 x 2000 ALUMINUM SLIDING  
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CLEAR GLASS
  - W93 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W94 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W95 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W96 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W97 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W98 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W99 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS
  - W100 2100 x 2000 ALUMINUM SLIDING  
CLEAR GLASS



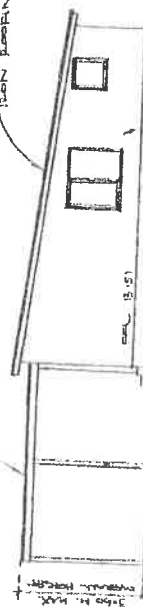
**FLOOR PLAN - EXISTING RESIDENCE**  
 SCALE: 1:100



**FLOOR PLAN - PROPOSED RESIDENCE**  
 SCALE: 1:100

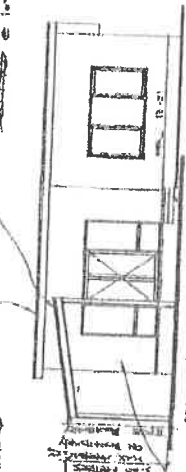
PROPOSED CARPORT  
CONCRETE  
ROOFING AS SHOWN  
@ 10° PITCH

EXISTING RESIDENCE  
EXISTING CARPORT  
EXISTING ROOFING  
EXISTING ROOFING

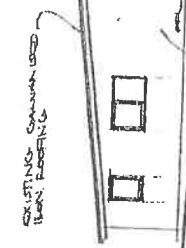


EXISTING RESIDENCE  
WEST ELEVATION SCALE 1:100

PROPOSED CARPORT  
NORTH ELEVATION  
SCALE 1:100

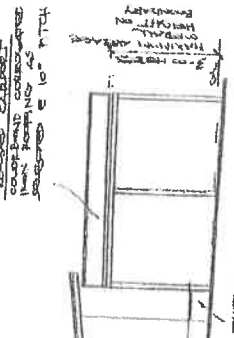


PROPOSED CARPORT  
CONCRETE ROOFING  
EXISTING ROOFING  
EXISTING ROOFING



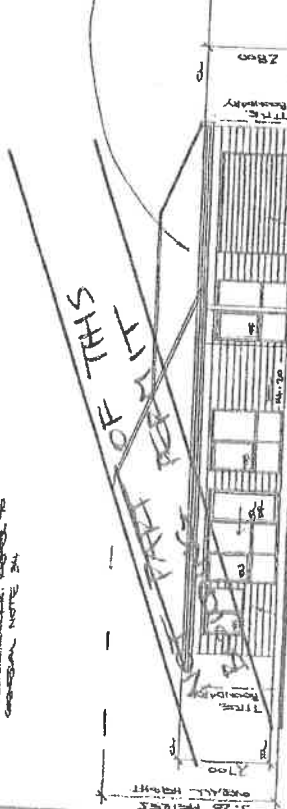
EXISTING RESIDENCE  
EAST ELEVATION  
SCALE 1:100

PROPOSED CARPORT  
EAST ELEVATION  
SCALE 1:100

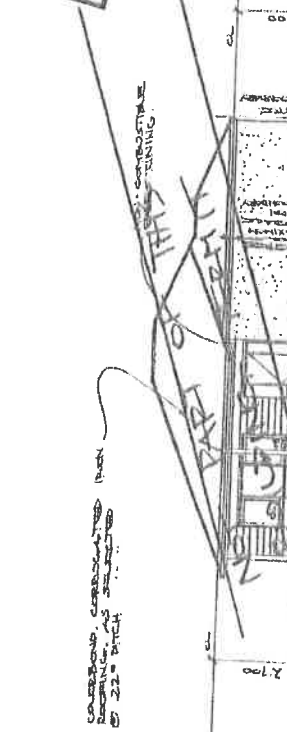


Building Permit Endorsed Plan  
This is to certify that the documents submitted in accordance with the Building Regulations and the Building Act  
Building Permit Dated:  
15 November 2019  
JAMES SHAW (251141) - JAMES SHAW BUILDING  
Phone (03) 9684 455

EXISTING CARPORT  
CONCRETE ROOFING  
EXISTING ROOFING  
EXISTING ROOFING

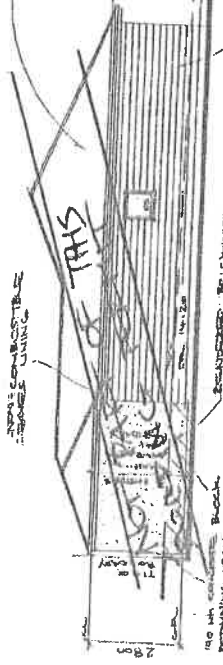


PROPOSED RESIDENCE  
NORTH ELEVATION SCALE 1:100

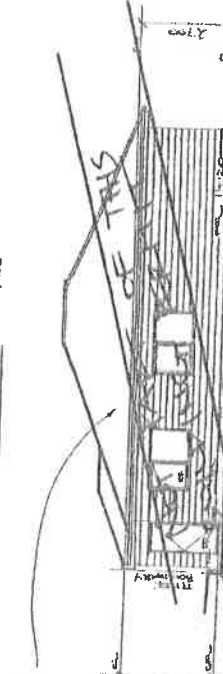


PROPOSED RESIDENCE  
WEST ELEVATION SCALE 1:100

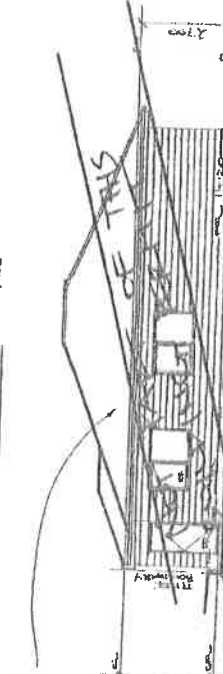
EXISTING CARPORT  
CONCRETE ROOFING  
EXISTING ROOFING  
EXISTING ROOFING



PROPOSED RESIDENCE  
SOUTH ELEVATION SCALE 1:100



PROPOSED RESIDENCE  
EAST ELEVATION SCALE 1:100



PROPOSED RESIDENCE  
WEST ELEVATION SCALE 1:100



## CERTIFICATE OF FINAL INSPECTION

Form 17  
Building Act 1993  
Building Regulations 2018  
Regulation 200

**Agent:** Alldraft  
**Address:** 4 Telford Close  
MORNINGTON, VIC 3931  
**Contact:** Greg Dietzel  
**Email:** kgdietzel4@bigpond.com  
**Phone:** 0414 538 014

**Builder:** Leisa & Paskali Christou  
**Address:** 17 Elizabeth Avenue  
DROMANA, VIC 3936  
**Contact:** Leisa & Paskali Christou  
**Email:** leisachristou1@gmail.com  
**Phone:** 0407 438 244

**Owner:** Leisa & Paskali Christou  
**Address:** 17 Elizabeth Avenue  
DROMANA, VIC 3936  
**Contact:** Leisa & Paskali Christou  
**Email:** leisachristou1@gmail.com  
**Phone:** 0407 438 244

### Property Details:

|                |                     |                          |                  |
|----------------|---------------------|--------------------------|------------------|
| <b>Number:</b> | <b>Street/Road:</b> | <b>City/Suburb/Town:</b> | <b>Postcode:</b> |
| 17             | Elizabeth Avenue    | DROMANA                  | 3936             |

**Municipal district:** Mornington Peninsula Shire Council

|                     |                        |                          |                   |
|---------------------|------------------------|--------------------------|-------------------|
| <b>Lot/s:</b> 1     | <b>LP/PS:</b> PS737585 | <b>Volume:</b> 12001     | <b>Folio:</b> 792 |
| <b>Crown Allot:</b> | <b>Section:</b>        | <b>Parish:</b> Kangerong | <b>County:</b>    |

### Building Permit Details:

**Building Permit Number:** 7767750828850  
**Version of BCA applicable to Building Permit:** BCA 2016 Volume 2

**Date of Issue:** 27/07/2020  
**Final Certificate No:** 7767750828850  
**NBP Ref No:** 201950715/0



## CERTIFICATE OF FINAL INSPECTION

**Description of Building Work:**

**Part of Building:**

Construction of Carport

**Permitted Use:**

Domestic

**BCA Class of Building:**

10a

**Mandatory Inspections:**

Pads Prior to Pouring Concrete

Frame & Final

**Date Approved:**

19/12/2019

22/07/2020

**Maintenance Determination:**

A maintenance determination is not required to be prepared in accordance with Regulation 215 of the Building Regulations 2018.

**Directions to Fix Building Work:**

All directions to fix building work under Part 4 of the Building Act 1993 (if applicable) have been complied with.

**Relevant Building Surveyor:**

Comet Trail Pty Ltd

**Reg No:**

CBS-U 58177

**ACN:**

103281527

**Designated Building Surveyor:**

Christopher Sanderson

**Reg No:**

BS-L 46520

**Signature:**

**Date of Issue:**

27/07/2020

**Final Certificate No:**

7767750828850

**NBP Ref No:**

201950715/0



## Owner Builder Report

Report Commissioned By:

Paskali Christou

Property Address:

17 Elizabeth Avenue Dromana



# VISUAL BUILDING INSPECTION REPORT

## Client & Site Information:

COMMISSIONED BY:

Paskali Christou.

DATE OF INSPECTION:

14.10.2020.

PROPERTY ADDRESS:

17 Elizabeth Avenue Dromana.

## Important Information Regarding the Scope and Limitations of the Inspection and this Report

**Important Information:** Any person who relies on the content of this report does so acknowledging that the following clauses both below and at the end of this report. These define the scope and limitations of the inspection and form an integral part of the report. Before you decide to act on this report you should read and understand all of the information contained herein. It will help explain what is involved in an Owner Builder Warranty Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

**The purpose of the inspection:** The purpose of the inspection is to provide a building defects report required under Section 137B of the Building Act when Owner Builder works have been conducted. This will enable the owner of the property to source Builders Warranty Insurance (for works exceeding \$16000) prior to sale.

**The Scope of the Inspection:** The inspection comprised a visual inspection of the Owner Builder works to identify significant defects and to form an opinion regarding the general condition of the works at the time of the inspection. If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property.

**Acceptance Criteria:** The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength or serviceability.

**Limitations:** This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. **The purpose of the inspection is to provide a defects report (for the purpose of gaining Warranty Insurance for works exceeding \$16000) as required under the Building Act.** Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances on a technical level. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

If Town Planning Permits, Building Permits or Approved Drawings are not made available at the time of the inspection it is the purchasers responsibility to verify the legality of works inspected.

This report is limited to the works undertaken by the Owner Builder under the Building Permit (or other definition of works undertaken) noted under *Summary of Areas Inspected*.

**Safe and Reasonable Access:** Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers." Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

**Roof Interior** - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

**Roof Exterior** - Must be accessible from a 3.6m ladder placed on the ground.

## Summary of Areas Inspected:

### Details:

Only works in relation to Building Permit number. 7767750828850 being for the construction of a carport were inspected.

## Overall Condition of the Building Works

### Overall Condition:

The works inspected are in good condition and are performing as intended. No defective works were noted during the inspection.

## Weather Conditions:

### Weather Conditions on the Day and at the Time of Inspection:

Dry and Overcast.

## Incomplete Works:

### Were there any incomplete works at the time of inspection?

No incomplete works were noted.

## Second hand Materials:

### Were there any secondhand materials noted at the time of inspection?

No second hand materials were noted.

## Permits and Documents:

### Documents made available at the time of the inspection.

A Building Permit, Certificate of Final Inspection and approved construction drawings were made available.

## This report was conducted by:

Nigel Woodhouse  
(IN-L 23566)



NIGEL WOODHOUSE  
0413 109 204.

# CARPORT

**Position/Location:**

Front left hand side of the dwelling looking from the street.

**Construction & Condition:**

Constructed primarily from timber. The general condition of this structure is good.

**Roof Construction:**

The roof is of skillion construction.

**Roof is covered with:**

Colourbond steel.

**Roof Covering Condition:**

The condition of the roof coverings, gutter and downpipe is good.

**Defects or Maintenance Items:**

No defective works were noted during the inspection.

## Important Information

**Important Information:**

The following forms an integral part of the report and MUST be read in conjunction with the entire report.

**General Definitions used in this report:**

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

**Good** - The item or area inspected appears ~~to be~~ in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

**Fair** - The item or area inspected exhibits some minor defects or minor damage and may require some repairs of maintenance.

**Poor** - The item or area inspected requires significant repairs or replacement due to poor construction methods or lack of maintenance or is not finished to an acceptable standard of workmanship.

**Appearance Defect** - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect** - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect** - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Accessible Area** - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

**General and Important Information:**

*Note:* In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately

specified.

**Shower Recesses:** Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

**Trees:** Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

**The septic tanks:** Should be inspected by a licensed plumber.

**Surface Water Drainage:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainage.

### **Important Information Regarding the Scope and Limitations of the Inspection and this Report**

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

- 1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection.
- 2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector **CANNOT** see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector **DID NOT** dig, gouge, force or perform any other invasive procedures. Visible timbers **CANNOT** be destructively probed or hit without the written permission of the property owner.
- 3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (eg. *In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); detection and identification of illegal plumbing work; neighbourhood problems; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a Special-Purpose Property Report.)**

- 4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.

- 5) **ASBESTOS DISCLAIMER:** "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection

asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

**6) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

**7) Cracking of Building Elements:** The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

**Appearance Defect:** Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect:** Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect:** Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects. Cracking in a structural element does not necessarily indicate a structural defect.

**8) CONDITIONS :-** This standard property report is conditional upon or conditional in relation to -

- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- information provided by the person, the employees or agents of the person requesting the report;
- the specific areas of expertise of the consultant specified in the report;
- apparent concealment of possible defects; or
- any other factor limiting the preparation of the report.

**9)** If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:

- a) Obtain a statement from the occupier as to
  - i. any Timber Pest activity or damage;
  - ii. timber repairs or other repairs
  - iii. alterations or other problems to the property known to them
  - iv. any other work carried out to the property including Timber Pest treatments
  - v. obtain copies of any paperwork issued and the details of all work carried out
- b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.

10) You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects

11) Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.

12) The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause.  
However, We may sell the Report to any other Person although there is no obligation for Us to do so.

13) You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

### **IMPORTANT DISCLAIMER**

**DISCLAIMER OF LIABILITY:** -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

**DISCLAIMER OF LIABILITY TO THIRD PARTIES:** - We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.

### **CONTACT THE INSPECTOR**

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

..... End Of Report .....

# PLANNING CERTIFICATE

Official certificate issued under Section 199 Planning & Environment Act 1987  
and the Planning and Environment Regulations 2005

## CERTIFICATE REFERENCE NUMBER

689805

## APPLICANT'S NAME & ADDRESS

WATERLINE CONVEYANCING PTY LTD C/- INFOTRACK  
(SMOKEBALL) C/- LANDATA

MELBOURNE

## VENDOR

CHRISTOU, PASKALI

## PURCHASER

-

## REFERENCE

409336

This certificate is issued for:

LOT 1 PLAN PS737585 ALSO KNOWN AS 17 ELIZABETH AVENUE DROMANA  
MORNINGTON PENINSULA SHIRE

The land is covered by the:

MORNINGTON PENINSULA PLANNING SCHEME

The Minister for Planning is the responsible authority issuing the Certificate.

The land:

- is included in a GENERAL RESIDENTIAL ZONE - SCHEDULE 1
- is within a DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 1

A detailed definition of the applicable Planning Scheme is available at :  
(<http://planningschemes.dpcd.vic.gov.au/schemes/morningtonpeninsula>)

Historic buildings and land protected under the Heritage Act 1995 are recorded in the Victorian  
Heritage Register at:  
(<http://vhd.heritage.vic.gov.au/>)

16 October 2020

Hon. Richard Wynne MP  
Minister for Planning

Additional site-specific controls may apply.  
The Planning Scheme Ordinance should be  
checked carefully.

The above information includes all  
amendments to planning scheme maps  
placed on public exhibition up to the date  
of issue of this certificate and which are  
still the subject of active consideration

Copies of Planning Schemes and  
Amendments can be inspected at the  
relevant municipal offices.

LANDATA®  
2 Lonsdale Street  
Melbourne VIC 3000  
Tel: (03) 9194 0606

The attached certificate is issued by the Minister for Planning of the State of Victoria and is protected by statute.

The document has been issued based on the property information you provided. You should check the map below - it highlights the property identified from your information.

If this property is different to the one expected, you can phone (03) 9194 0606 or email [landata.enquiries@delwp.vic.gov.au](mailto:landata.enquiries@delwp.vic.gov.au).

Please note: The map is for reference purposes only and does not form part of the certificate.



### Choose the authoritative Planning Certificate

#### *Why rely on anything less?*

As part of your section 32 statement, the authoritative Planning Certificate provides you and / or your customer with the statutory protection of the State of Victoria.  
Order online before 4pm to receive your authoritative Planning Certificate the same day, in most cases within the hour.  
Next business day delivery, if further information is required from you.

#### Privacy Statement

The information obtained from the applicant and used to produce this certificate was collected solely for the purpose of producing this certificate. The personal information on the certificate has been provided by the applicant and has not been verified by LANDATA®. The property information on the certificate has been verified by LANDATA®. The zoning information on the certificate is protected by statute. The information on the certificate will be retained by LANDATA® for auditing purposes and will not be released to any third party except as required by law.

## Property Report

from [www.land.vic.gov.au](http://www.land.vic.gov.au) on 17 October 2020 03:08 PM

**Address:** 17 ELIZABETH AVENUE DROMANA 3936

**Lot and Plan Number:** Lot 1 PS737585

**Standard Parcel Identifier (SPI):** 1\PS737585

**Local Government (Council):** MORNINGTON PENINSULA **Council Property Number:** 146643

**Directory Reference:** Melway 159 K7

**This property is not in a designated bushfire prone area.**

**No special bushfire construction requirements apply. Planning provisions may apply.**

Further information about the building control system and building in bushfire prone areas can be found in the Building Commission section of the Victorian Building Authority website [www.vba.vic.gov.au](http://www.vba.vic.gov.au)

### Site Dimensions

All dimensions and areas are approximate. They may not agree with the values shown on a title or plan.

**Area:** 339 sq. m

**Perimeter:** 79 m

For this property:

— Site boundaries

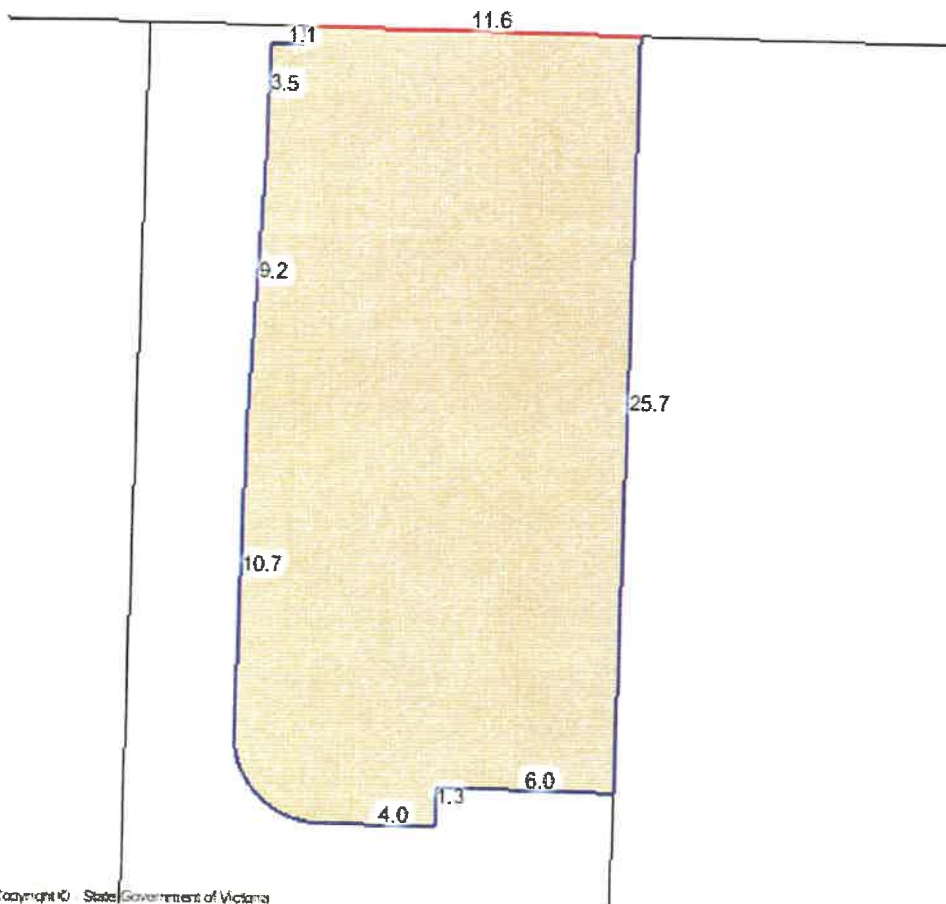
— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

16 dimensions shorter than 1m not displayed

Calculating the area from the dimensions shown may give a different value to the area shown above - which has been calculated using all the dimensions.

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)



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## State Electorates

Legislative Council: EASTERN VICTORIA

Legislative Assembly: NEPEAN

## Utilities

Rural Water Corporation: Southern Rural Water

Melbourne Water Retailer: South East Water

Melbourne Water: inside drainage boundary

Power Distributor: UNITED ENERGY (Information about [choosing an electricity retailer](#))

## Planning Zone Summary

Planning Zone: GENERAL RESIDENTIAL ZONE (GRZ)  
GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)

Planning Overlay: DESIGN AND DEVELOPMENT OVERLAY (DDO)  
DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 1 (DDO1)

## Areas of Aboriginal Cultural Heritage Sensitivity:

All or part of this property is an 'area of cultural heritage sensitivity'.

Planning scheme data last updated on 14 October 2020.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting [Planning Schemes Online](#)

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the *Planning and Environment Act 1987*.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to [Titles and Property Certificates](#)

The Planning Property Report includes separate maps of zones and overlays

For details of surrounding properties, use this service to get the Reports for properties of interest

To view planning zones, overlay and heritage information in an interactive format visit [Planning Maps Online](#)

For other information about planning in Victoria visit [www.planning.vic.gov.au](http://www.planning.vic.gov.au)

## Areas of Aboriginal Cultural Heritage Sensitivity

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

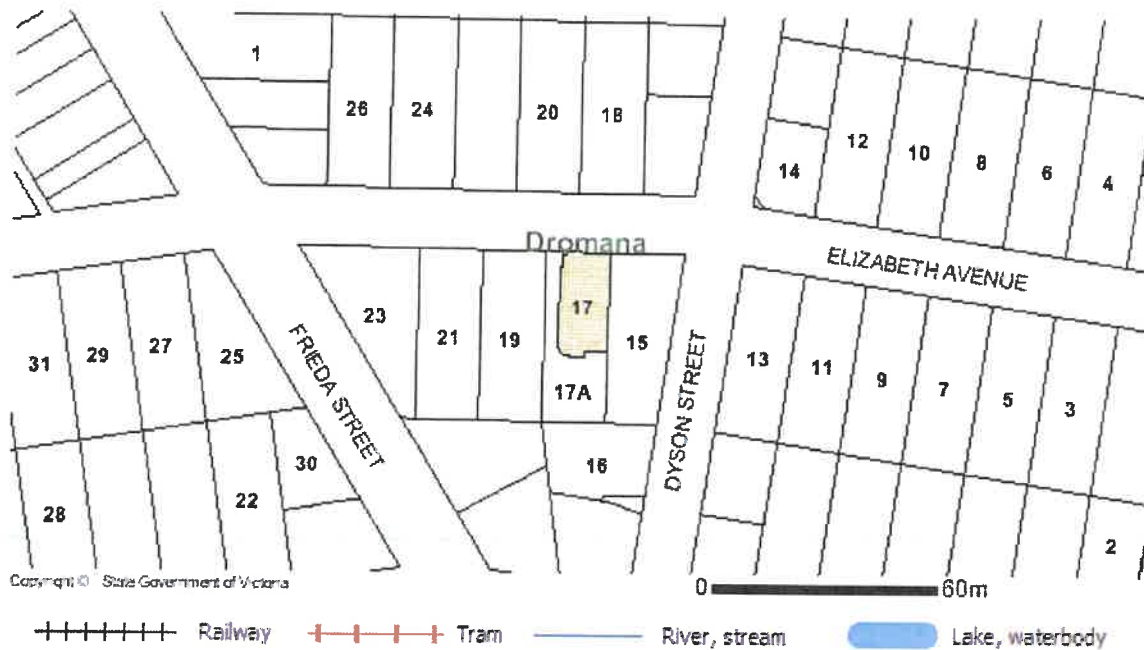
If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.vic.gov.au/aboriginalvictoria/heritage/planning-and-heritage-management-processes.html>

## Area Map



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# PLANNING PROPERTY REPORT



Environment,  
Land, Water  
and Planning

From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 17 October 2020 03:06 PM

## PROPERTY DETAILS

Address: **17 ELIZABETH AVENUE DROMANA 3936**  
Lot and Plan Number: **Lot 1 PS737585**  
Standard Parcel Identifier (SPI): **1\PS737585**  
Local Government Area (Council): **MORNINGTON PENINSULA**  
Council Property Number: **146643**  
Planning Scheme: **Mornington Peninsula**  
Directory Reference: **Melway 159 K7**

[www.mornington.vic.gov.au](http://www.mornington.vic.gov.au)

[Planning Scheme - Mornington Peninsula](#)

## UTILITIES

Rural Water Corporation: **Southern Rural Water**  
Melbourne Water Retailer: **South East Water**  
Melbourne Water: **Inside drainage boundary**  
Power Distributor: **UNITED ENERGY**

[View location in VicPlan](#)

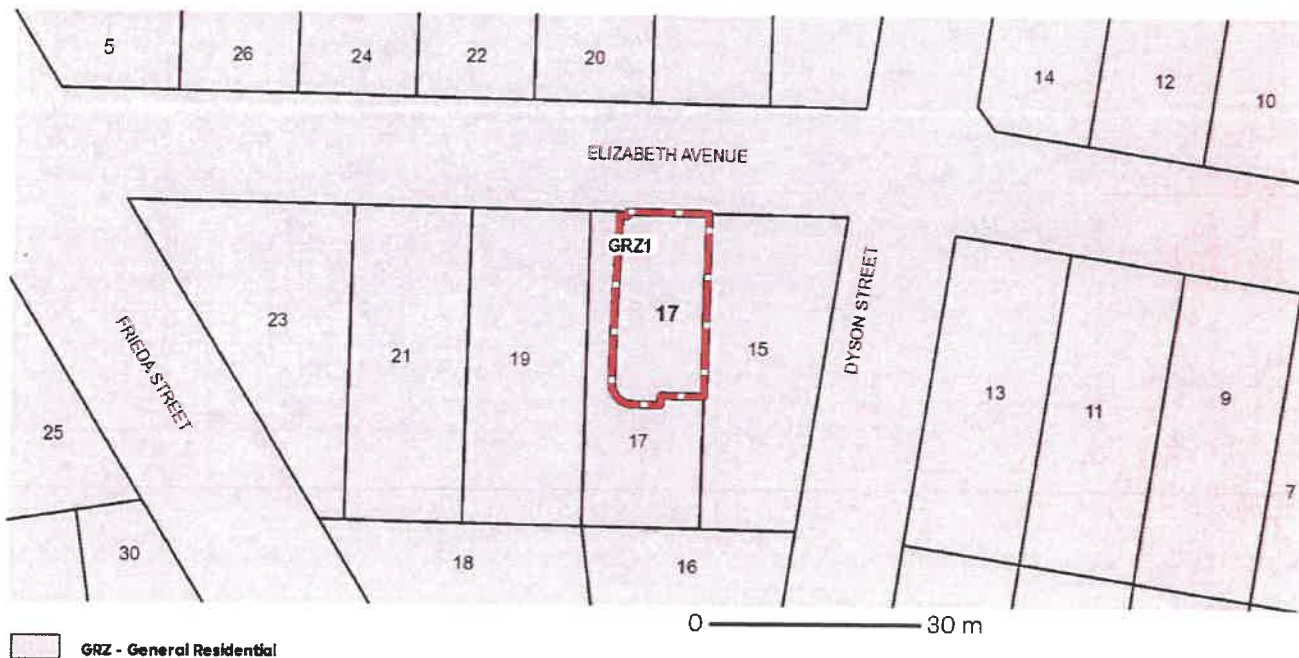
## STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
Legislative Assembly: **NEPEAN**

## Planning Zones

GENERAL RESIDENTIAL ZONE (GRZ)

GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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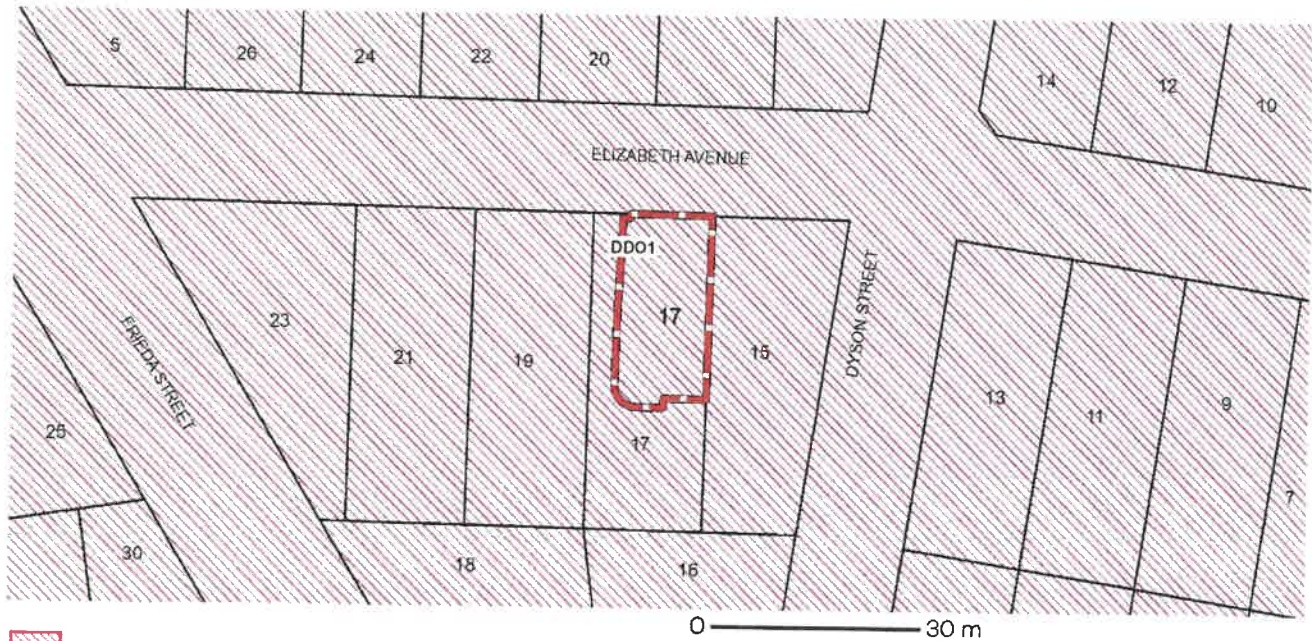
Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic)

PLANNING PROPERTY REPORT: 17 ELIZABETH AVENUE DROMANA 3936

## Planning Overlay

DESIGN AND DEVELOPMENT OVERLAY (DDO)

DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 1 (DDO1)



 **DDO - Design and Development**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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PLANNING PROPERTY REPORT: 17 ELIZABETH AVENUE DROMANA 3936

## Areas of Aboriginal Cultural Heritage Sensitivity

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For further information about whether a Cultural Heritage Management Plan is required go to <http://www.gov.vic.gov.au/gov/Question1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.aboriginal.vic.gov.au/aboriginal-heritage-legislation>



## Further Planning Information

Planning scheme data last updated on 14 October 2020.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

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To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicoplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

# PLANNING PROPERTY REPORT



Environment,  
Land, Water  
and Planning

## Designated Bushfire Prone Areas

**This property is not in a designated bushfire prone area.**

**No special bushfire construction requirements apply. Planning provisions may apply.**



Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time.

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas.

Designated bushfire prone areas maps can be viewed on VicPlan at <https://mapshare.maps.vic.gov.au/vicplan> or at the relevant local council.

Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>

Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

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PLANNING PROPERTY REPORT: 17 ELIZABETH AVENUE DROMANA 3936

**32.08**31/07/2018  
VC148**GENERAL RESIDENTIAL ZONE**

Shown on the planning scheme map as **GRZ, R1Z, R2Z** or **R3Z** with a number (if shown).

**Purpose**

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

**32.08-1**27/03/2017  
VC110**Neighbourhood character objectives**

A schedule to this zone may contain neighbourhood character objectives to be achieved for the area.

**32.08-2**24/01/2020  
VC180**Table of uses****Section 1 - Permit not required**

| Use                                                                    | Condition                                                                                                                                                                                                                                |
|------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Bed and breakfast</b>                                               | <p>No more than 10 persons may be accommodated away from their normal place of residence.</p> <p>At least 1 car parking space must be provided for each 2 persons able to be accommodated away from their normal place of residence.</p> |
| <b>Community care accommodation</b>                                    | Must meet the requirements of Clause 52.22-2.                                                                                                                                                                                            |
| <b>Dependent person's unit</b>                                         | Must be the only dependent person's unit on the lot.                                                                                                                                                                                     |
| <b>Domestic animal husbandry (other than Domestic animal boarding)</b> | Must be no more than 2 animals.                                                                                                                                                                                                          |
| <b>Dwelling (other than Bed and breakfast)</b>                         |                                                                                                                                                                                                                                          |
| <b>Home based business</b>                                             |                                                                                                                                                                                                                                          |
| <b>Informal outdoor recreation</b>                                     |                                                                                                                                                                                                                                          |
| <b>Medical centre</b>                                                  | <p>The gross floor area of all buildings must not exceed 250 square metres.</p> <p>Must not require a permit under Clause 52.06-3.</p> <p>The site must adjoin, or have access to, a road in a Road Zone.</p>                            |
| <b>Place of worship</b>                                                | <p>The gross floor area of all buildings must not exceed 250 square metres.</p> <p>The site must adjoin, or have access to, a road in a Road Zone.</p>                                                                                   |
| <b>Racing dog husbandry</b>                                            | Must be no more than 2 animals.                                                                                                                                                                                                          |
| <b>Railway</b>                                                         |                                                                                                                                                                                                                                          |

# VICTORIA PLANNING PROVISIONS

| Use                            | Condition                                     |
|--------------------------------|-----------------------------------------------|
| Residential aged care facility |                                               |
| Rooming house                  | Must meet the requirements of Clause 52.23-2. |
| Tramway                        |                                               |
| Any use listed in Clause 62.01 | Must meet the requirements of Clause 62.01.   |

## Section 2 - Permit required

| Use                                                                                                                                          | Condition                                                                                                                                                                                                                          |
|----------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Accommodation (other than Community care accommodation, Dependent person's unit, Dwelling, Residential aged care facility and Rooming house) |                                                                                                                                                                                                                                    |
| Agriculture (other than Animal production, Animal training, Apiculture, Domestic animal husbandry, Horse husbandry and Racing dog husbandry) |                                                                                                                                                                                                                                    |
| Car park                                                                                                                                     | Must be used in conjunction with another use in Section 1 or 2.                                                                                                                                                                    |
| Car wash                                                                                                                                     | The site must adjoin, or have access to, a road in a Road Zone.                                                                                                                                                                    |
| Convenience restaurant                                                                                                                       | The site must adjoin, or have access to, a road in a Road Zone.                                                                                                                                                                    |
| Convenience shop                                                                                                                             |                                                                                                                                                                                                                                    |
| Domestic animal husbandry (other than Domestic animal boarding) – if the Section 1 condition is not met                                      | Must be no more than 5 animals.                                                                                                                                                                                                    |
| Food and drink premises (other than Convenience restaurant and Take away food premises)                                                      |                                                                                                                                                                                                                                    |
| Grazing animal production                                                                                                                    |                                                                                                                                                                                                                                    |
| Leisure and recreation (other than Informal outdoor recreation and Motor racing track)                                                       |                                                                                                                                                                                                                                    |
| Market                                                                                                                                       |                                                                                                                                                                                                                                    |
| Place of assembly (other than Amusement parlour, Carnival, Cinema based entertainment facility, Circus, Nightclub and Place of worship)      |                                                                                                                                                                                                                                    |
| Plant nursery                                                                                                                                |                                                                                                                                                                                                                                    |
| Service station                                                                                                                              | <p>The site must either:</p> <ul style="list-style-type: none"> <li>▪ Adjoin a commercial zone or industrial zone.</li> <li>▪ Adjoin, or have access to, a road in a Road Zone.</li> </ul> <p>The site must not exceed either:</p> |

## VICTORIA PLANNING PROVISIONS

| Use                                                                                          | Condition                                                                                                                                                                    |
|----------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                              | <ul style="list-style-type: none"> <li>3000 square metres.</li> <li>3600 square metres if it adjoins on two boundaries a road in a Road Zone.</li> </ul>                     |
| Store                                                                                        | Must be in a building, not a dwelling, and used to store equipment, goods, or motor vehicles used in conjunction with the occupation of a resident of a dwelling on the lot. |
| Take away food premises                                                                      | The site must adjoin, or have access to, a road in a Road Zone.                                                                                                              |
| Utility installation (other than Minor utility installation and Telecommunications facility) |                                                                                                                                                                              |
| Any other use not in Section 1 or 3                                                          |                                                                                                                                                                              |

### Section 3 – Prohibited

| Use                                                                                               |
|---------------------------------------------------------------------------------------------------|
| Amusement parlour                                                                                 |
| Animal production (other than Grazing animal production)                                          |
| Animal training                                                                                   |
| Brothel                                                                                           |
| Cinema based entertainment facility                                                               |
| Domestic animal boarding                                                                          |
| Extractive industry                                                                               |
| Horse husbandry                                                                                   |
| Industry (other than Car wash)                                                                    |
| Motor racing track                                                                                |
| Nightclub                                                                                         |
| Office (other than Medical centre)                                                                |
| Retail premises (other than Convenience shop, Food and drink premises, Market, and Plant nursery) |
| Saleyard                                                                                          |
| Transport terminal                                                                                |
| Warehouse (other than Store)                                                                      |

**32.08-3**

31/07/2018  
VC148

### Subdivision

#### Permit requirement

A permit is required to subdivide land.

An application to subdivide land that would create a vacant lot less than 400 square metres capable of development for a dwelling or residential building, must ensure that each vacant lot created less than 400 square metres contains at least 25 percent as garden area. This does not apply to a lot created by an application to subdivide land where that lot is created in accordance with:

## VICTORIA PLANNING PROVISIONS

- An approved precinct structure plan or an equivalent strategic plan;
- An incorporated plan or approved development plan; or
- A permit for development.

An application to subdivide land, other than an application to subdivide land into lots each containing an existing dwelling or car parking space, must meet the requirements of Clause 56 and:

- Must meet all of the objectives included in the clauses specified in the following table.
- Should meet all of the standards included in the clauses specified in the following table.

| Class of subdivision | Objectives and standards to be met                                                     |
|----------------------|----------------------------------------------------------------------------------------|
| 60 or more lots      | All except Clause 56.03-5.                                                             |
| 16 – 59 lots         | All except Clauses 56.03-1 to 56.03-3, 56.03-5, 56.06-1 and 56.06-3.                   |
| 3 – 15 lots          | All except Clauses 56.02-1, 56.03-1 to 56.03-4, 56.05-2, 56.06-1, 56.06-3 and 56.06-6. |
| 2 lots               | Clauses 56.03-5, 56.04-2, 56.04-3, 56.04-5, 56.06-8 to 56.09-2.                        |

### VicSmart applications

Subject to Clause 71.06, an application under this clause for a development specified in Column 1 is a class of VicSmart application and must be assessed against the provision specified in Column 2.

| Class of application                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Information requirements and decision guidelines |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|
| Subdivide land to realign the common boundary between 2 lots where: <ul style="list-style-type: none"> <li>• The area of either lot is reduced by less than 15 percent.</li> <li>• The general direction of the common boundary does not change.</li> </ul>                                                                                                                                                                                                                                                          | Clause 59.01                                     |
| Subdivide land into lots each containing an existing building or car parking space where: <ul style="list-style-type: none"> <li>• The buildings or car parking spaces have been constructed in accordance with the provisions of this scheme or a permit issued under this scheme.</li> <li>• An occupancy permit or a certificate of final inspection has been issued under the Building Regulations in relation to the buildings within 5 years prior to the application for a permit for subdivision.</li> </ul> | Clause 59.02                                     |
| Subdivide land into 2 lots if: <ul style="list-style-type: none"> <li>• The construction of a building or the construction or carrying out of works on the land: <ul style="list-style-type: none"> <li>– Has been approved under this scheme or by a permit issued under this scheme and the permit has not expired.</li> <li>– Has started lawfully.</li> </ul> </li> <li>• The subdivision does not create a vacant lot.</li> </ul>                                                                               | Clause 59.02                                     |

**32.08-4**15/05/2018  
VC143**Construction or extension of a dwelling or residential building****Minimum garden area requirement**

An application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area as set out in the following table:

| Lot size            | Minimum percentage of a lot set aside as garden area |
|---------------------|------------------------------------------------------|
| 400 - 500 sqm       | 25%                                                  |
| Above 500 - 650 sqm | 30%                                                  |
| Above 650 sqm       | 35%                                                  |

This does not apply to:

- An application to construct or extend a dwelling or residential building if specified in a schedule to this zone as exempt from the minimum garden area requirement;
- An application to construct or extend a dwelling or residential building on a lot if:
  - The lot is designated as a medium density housing site in an approved precinct structure plan or an approved equivalent strategic plan;
  - The lot is designated as a medium density housing site in an incorporated plan or approved development plan; or
- An application to alter or extend an existing building that did not comply with the minimum garden area requirement of Clause 32.08-4 on the approval date of Amendment VC110.

**32.08-5**31/07/2018  
VC148**Construction and extension of one dwelling on a lot****Permit requirement**

A permit is required to construct or extend one dwelling on:

- A lot of less than 300 square metres.
- A lot of between 300 square metres and 500 square metres if specified in a schedule to this zone.

A permit is required to construct or extend a front fence within 3 metres of a street if:

- The fence is associated with one dwelling on:
  - A lot of less than 300 square metres, or
  - A lot of between 300 and 500 square metres if specified in a schedule to this zone, and
- The fence exceeds the maximum height specified in Clause 54.06-2.

A development must meet the requirements of Clause 54.

**No permit required**

No permit is required to:

- Construct or carry out works normal to a dwelling.
- Construct or extend an out-building (other than a garage or carport) on a lot provided the gross floor area of the out-building does not exceed 10 square metres and the maximum building height is not more than 3 metres above ground level.
- Make structural changes to a dwelling provided the size of the dwelling is not increased or the number of dwellings is not increased.

**VicSmart applications**

Subject to Clause 71.06, an application under this clause for a development specified in Column 1 is a class of VicSmart application and must be assessed against the provision specified in Column 2.

| Class of application                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Information requirements and decision guidelines |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|
| <p>Construct an outbuilding or extend a dwelling if the development:</p> <p>Meets the minimum garden area requirement of Clause 32.08-4.</p> <ul style="list-style-type: none"> <li>▪ Does not exceed a building height of 5 metres.</li> <li>▪ Is not visible from the street (other than a lane) or a public park.</li> <li>▪ Meets the requirements in the following standards of Clause 54: <ul style="list-style-type: none"> <li>- A10 Side and rear setbacks.</li> <li>- A11 Walls on boundaries.</li> <li>- A12 Daylight to existing windows.</li> <li>- A13 North-facing windows.</li> <li>- A14 Overshadowing open space.</li> <li>- A15 Overlooking.</li> </ul> </li> </ul> <p>For the purposes of this class of VicSmart application, the Clause 54 standards specified above are mandatory.</p> <p>If a schedule to the zone specifies a requirement of a standard different from a requirement set out in the Clause 54 standard, the requirement in the schedule to the zone applies and must be met.</p> | <p>Clause 59.14</p>                              |
| <p>Construct or extend a front fence within 3 metres of a street if the fence is associated with one dwelling.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <p>Clause 59.03</p>                              |

**32.08-6**  
31/07/2018  
VC148

### **Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings**

#### **Permit requirement**

A permit is required to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.
- Construct or extend a residential building.

A permit is required to construct or extend a front fence within 3 metres of a street if:

- The fence is associated with 2 or more dwellings on a lot or a residential building, and
- The fence exceeds the maximum height specified in Clause 55.06-2.

A development must meet the requirements of Clause 55. This does not apply to a development of five or more storeys, excluding a basement.

## VICTORIA PLANNING PROVISIONS

An apartment development of five or more storeys, excluding a basement, must meet the requirements of Clause 58.

A permit is not required to construct one dependent person's unit on a lot.

### VicSmart applications

Subject to Clause 71.06, an application under this clause for a development specified in Column 1 is a class of VicSmart application and must be assessed against the provision specified in Column 2.

| Class of application                                                                                                                                  | Information requirements and decision guidelines |
|-------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|
| Construct or extend a front fence within 3 metres of a street if the fence is associated with 2 or more dwellings on a lot or a residential building. | Clause 59.03                                     |

### Transitional provisions

Clause 55 of this scheme, as in force immediately before the approval date of Amendment VC136, continues to apply to:

- An application for a planning permit lodged before that date.
- An application for an amendment of a permit under section 72 of the Act, if the original permit application was lodged before that date.

Clause 58 does not apply to:

- An application for a planning permit lodged before the approval date of Amendment VC136.
- An application for an amendment of a permit under section 72 of the Act, if the original permit application was lodged before the approval date of Amendment VC136.

**32.08-7**  
27/03/2017  
VC110

### Requirements of Clause 54 and Clause 55

A schedule to this zone may specify the requirements of:

- Standards A3, A5, A6, A10, A11, A17 and A20 of Clause 54 of this scheme.
- Standards B6, B8, B9, B13, B17, B18, B28 and B32 of Clause 55 of this scheme.

If a requirement is not specified in a schedule to this zone, the requirement set out in the relevant standard of Clause 54 or Clause 55 applies.

**32.08-8**  
28/10/2018  
VC152

### Residential aged care facility

#### Permit requirements

A permit is required to construct a building or construct or carry out works for a residential aged care facility.

A development must meet the requirements of Clause 53.17 - Residential aged care facility.

**32.08-9**  
28/10/2018  
VC152

### Buildings and works associated with a Section 2 use

A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.08-2.

**VicSmart applications**

Subject to Clause 71.06, an application under this clause for a development specified in Column 1 is a class of VicSmart application and must be assessed against the provision specified in Column 2.

| Class of application                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Information requirements and decision guidelines |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|
| <p>Construct a building or construct or carry out works with an estimated cost of up to \$100,000 where:</p> <ul style="list-style-type: none"> <li>▪ The building or works is not associated with a dwelling.</li> <li>▪ The requirements in the following standards of Clause 54 are met, where the land adjoins land in a residential zone used for residential purposes: <ul style="list-style-type: none"> <li>- A10 Side and rear setbacks.</li> <li>- A11 Walls on boundaries.</li> <li>- A12 Daylight to existing windows.</li> <li>- A13 North-facing windows.</li> <li>- A14 Overshadowing open space.</li> <li>- A15 Overlooking.</li> </ul> </li> </ul> <p>For the purposes of this class of VicSmart application, the Clause 54 standards specified above are mandatory.</p> <p>If a schedule to the zone specifies a requirement of a standard different from a requirement set out in the Clause 54 standard, the requirement in the schedule to the zone applies and must be met.</p> | <p>Clause 59.04</p>                              |

**32.08-10**  
26/10/2018  
VC152

**Maximum building height requirement for a dwelling or residential building**

A building must not be constructed for use as a dwelling or a residential building that:

- exceeds the maximum building height specified in a schedule to this zone; or
- contains more than the maximum number of storeys specified in a schedule to this zone.

If no maximum building height or maximum number of storeys is specified in a schedule to this zone:

- the building height must not exceed 11 metres; and
- the building must contain no more than 3 storeys at any point.

A building may exceed the applicable maximum building height or contain more than the applicable maximum number of storeys if:

- It replaces an immediately pre-existing building and the new building does not exceed the building height or contain a greater number of storeys than the pre-existing building.
- There are existing buildings on both abutting allotments that face the same street and the new building does not exceed the building height or contain a greater number of storeys than the lower of the existing buildings on the abutting allotments.

- It is on a corner lot abutted by lots with existing buildings and the new building does not exceed the building height or contain a greater number of storeys than the lower of the existing buildings on the abutting allotments.
- It is constructed pursuant to a valid building permit that was in effect prior to the introduction of this provision.

An extension to an existing building may exceed the applicable maximum building height or contain more than the applicable maximum number of storeys if it does not exceed the building height of the existing building or contain a greater number of storeys than the existing building.

A building may exceed the maximum building height by up to 1 metre if the slope of the natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees.

A basement is not a storey for the purposes of calculating the number of storeys contained in a building.

The maximum building height and maximum number of storeys requirements in this zone or a schedule to this zone apply whether or not a planning permit is required for the construction of a building.

#### **Building height if land is subject to inundation**

If the land is in a Special Building Overlay, Land Subject to Inundation Overlay or is land liable to inundation the maximum building height specified in the zone or schedule to the zone is the vertical distance from the minimum floor level determined by the relevant drainage authority or floodplain management authority to the roof or parapet at any point.

### **32.08-11**

26/10/2018  
VC152

#### **Application requirements**

An application must be accompanied by the following information, as appropriate:

- For a residential development of four storeys or less, the neighbourhood and site description and design response as required in Clause 54 and Clause 55.
- For an apartment development of five or more storeys, an urban context report and design response as required in Clause 58.01.
- For an application for subdivision, a site and context description and design response as required in Clause 56.
- Plans drawn to scale and dimensioned which show:
  - Site shape, size, dimensions and orientation.
  - The siting and use of existing and proposed buildings.
  - Adjacent buildings and uses.
  - The building form and scale.
  - Setbacks to property boundaries.
- The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and despatch of good and materials, hours of operation and light spill, solar access and glare.
- Any other application requirements specified in a schedule to this zone.

If in the opinion of the responsible authority an application requirement is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.

**32.08-12**

28/10/2018  
VC152

**Exemption from notice and review**

**Subdivision**

An application to subdivide land into lots each containing an existing dwelling or car parking space is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

**32.08-13**

24/01/2020  
VC160

**Decision guidelines**

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

**General**

- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

**Subdivision**

- The pattern of subdivision and its effect on the spacing of buildings.
- For subdivision of land for residential development, the objectives and standards of Clause 56.

**Dwellings and residential buildings**

- For the construction and extension of one dwelling on a lot, the objectives, standards and decision guidelines of Clause 54.
- For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.
- For the construction and extension of an apartment development of five or more storeys, excluding a basement, the objectives, standards and decisions guidelines of Clause 58.

**Non-residential use and development**

- Whether the use or development is compatible with residential use.
- Whether the use generally serves local community needs.
- The scale and intensity of the use and development.
- The design, height, setback and appearance of the proposed buildings and works.
- The proposed landscaping.
- The provision of car and bicycle parking and associated accessways.
- Any proposed loading and refuse collection facilities.
- The safety, efficiency and amenity effects of traffic to be generated by the proposal.

**32.08-14**

28/10/2018  
VC152

**Signs**

Sign requirements are at Clause 52.05. This zone is in Category 3.

**32.08-15**

26/10/2018  
VC152

**Transitional provisions**

The minimum garden area requirements of Clause 32.08-4 and the maximum building height and number of storeys requirements of Clause 32.08-9 introduced by Amendment VC110 do not apply to:

- A planning permit application for the construction or extension of a dwelling or residential building lodged before the approval date of Amendment VC110.
- Where a planning permit is not required for the construction or extension of a dwelling or residential building:
  - A building permit issued for the construction or extension of a dwelling or residential building before the approval date of Amendment VC110.
  - A building surveyor has been appointed to issue a building permit for the construction or extension of a dwelling or residential building before the approval date of Amendment VC110. A building permit must be issued within 12 months of the approval date of Amendment VC110.
  - A building surveyor is satisfied, and certifies in writing, that substantial progress was made on the design of the construction or extension of a dwelling or residential building before the approval date of Amendment VC110. A building permit must be issued within 12 months of the approval date of Amendment VC110.

The minimum garden area requirement of Clause 32.08-3 introduced by Amendment VC110 does not apply to a planning permit application to subdivide land for a dwelling or a residential building lodged before the approval date of Amendment VC110.

09/10/2014  
C179**SCHEDULE 1 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE**

Shown on the planning scheme map as GRZ1.

**MORNINGTON PENINSULA TOWN AREAS****1.0**13/02/2014  
C182**Permit requirement for the construction or extension of one dwelling on a lot****Is a permit required to construct or extend one dwelling on a lot of between 300 square metres and 500 square metres?**

500 square metres

**2.0**13/02/2014  
C182**Requirements of Clause 54 and Clause 55**

|                        | Standard    | Requirement    |
|------------------------|-------------|----------------|
| Minimum street setback | A3 and B6   | None specified |
| Site coverage          | A5 and B8   | None specified |
| Permeability           | A6 and B9   | None specified |
| Landscaping            | B13         | None specified |
| Side and rear setbacks | A10 and B17 | None specified |
| Walls on boundaries    | A11 and B18 | None specified |
| Private open space     | A17         | None specified |
|                        | B28         | None specified |
| Front fence height     | A20 and B32 | None specified |

**3.0**13/02/2014  
C182**Maximum building height requirement for a dwelling or residential building**

None specified

**4.0**13/02/2014  
C182**Application requirements**

None specified

**5.0**13/02/2014  
C182**Decision guidelines**

None specified

**43.02**31/07/2018  
VC148**DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO** with a number.

**Purpose**

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which are affected by specific requirements relating to the design and built form of new development.

**43.02-1**19/01/2008  
VC37**Design objectives**

A schedule to this overlay must contain a statement of the design objectives to be achieved for the area affected by the schedule.

**43.02-2**31/07/2018  
VC148**Buildings and works****Permit requirement**

A permit is required to:

- Construct a building or construct or carry out works. This does not apply:
  - If a schedule to this overlay specifically states that a permit is not required.
  - To the construction of an outdoor swimming pool associated with a dwelling unless a specific requirement for this matter is specified in a schedule to this overlay.
- Construct a fence if specified in a schedule to this overlay.

Buildings and works must be constructed in accordance with any requirements in a schedule to this overlay. A schedule may include requirements relating to:

- Building setbacks.
- Building height.
- Plot ratio.
- Landscaping.
- Any other requirements relating to the design or built form of new development.

A permit may be granted to construct a building or construct or carry out works which are not in accordance with any requirement in a schedule to this overlay, unless the schedule specifies otherwise.

**VicSmart applications**

Subject to Clause 71.06, an application under this clause for a development specified in Column 1 is a class of VicSmart application and must be assessed against the provision specified in Column 2.

| Class of application                                                     | Information requirements and decision guidelines |
|--------------------------------------------------------------------------|--------------------------------------------------|
| Construct a fence.                                                       | Clause 59.05                                     |
| Construct a building or construct or carry out works for:                | Clause 59.05                                     |
| ▪ A carport, garage, pergola, verandah, deck, shed or similar structure. |                                                  |
| ▪ An outdoor swimming pool.                                              |                                                  |
| The buildings and works must be associated with a dwelling.              |                                                  |

**Class of application****Information requirements and decision guidelines**

Construct a building or construct or carry out works with an estimated cost of up to \$1,000,000 where the land is in an industrial zone. Clause 59.05

Construct a building or construct or carry out works with an estimated cost of up to \$500,000 where the land is in a commercial zone or a Special Use, Comprehensive Development, Capital City, Docklands, Priority Development or Activity Centre Zone. Clause 59.05

**Exemption from notice and review**

A schedule to this overlay may specify that an application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

**43.02-3**31/07/2018  
VC148**Subdivision****Permit requirement**

A permit is required to subdivide land.

This does not apply if a schedule to this overlay specifically states that a permit is not required.

Subdivision must occur in accordance with any lot size or other requirement specified in a schedule to this overlay.

A permit may be granted to subdivide land which is not in accordance with any lot size or other requirement in a schedule to this overlay, unless the schedule specifies otherwise.

**VicSmart applications**

Subject to Clause 71.06, an application under this clause for a development specified in Column 1 is a class of VicSmart application and must be assessed against the provision specified in Column 2.

**Class of application****Information requirements and decision guidelines**

Subdivide land to realign the common boundary between 2 lots where: Clause 59.01

- The area of either lot is reduced by less than 15 percent.
- The general direction of the common boundary does not change.

Subdivide land into lots each containing an existing building or car parking space where: Clause 59.02

- The buildings or car parking spaces have been constructed in accordance with the provisions of this scheme or a permit issued under this scheme.
- An occupancy permit or a certificate of final inspection has been issued under the Building Regulations in relation to the buildings within 5 years prior to the application for a permit for subdivision.

Subdivide land into 2 lots if: Clause 59.02

- The construction of a building or the construction or carrying out of works on the land:

- Has been approved under this scheme or by a permit issued under this scheme and the permit has not expired.
- Has started lawfully.
- The subdivision does not create a vacant lot.

### Exemption from notice and review

A schedule to this overlay may specify that an application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

#### 43.02-4

31/07/2018  
VC148

### Signs

Sign requirements are at Clause 52.05 unless otherwise specified in a schedule to this overlay.

#### 43.02-5

31/07/2018  
VC148

### Application requirements

An application must be accompanied by any information specified in a schedule to this overlay.

#### 43.02-6

31/07/2018  
VC148

### Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The design objectives of the relevant schedule to this overlay.
- The provisions of any relevant policies and urban design guidelines.
- Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.
- Whether any proposed landscaping or removal of vegetation will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking
- Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- Any other matters specified in a schedule to this overlay.

09/10/2014  
C179

## SCHEDULE 1 TO THE DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO1**.

### TOWNSHIP DESIGN

#### 1.0

19/01/2006  
VC37

#### Design objectives

- To ensure that new development has proper regard for the established streetscape and development pattern in terms of building height, scale and siting.
- To protect shared viewlines where reasonable and practical.
- To ensure that buildings are designed and sited to avoid being visually obtrusive, particularly in terms of creating a silhouette above a skyline or existing tree canopy line when viewed from surrounding streets and properties.
- To ensure that subdivision proposals will enable new buildings to be integrated with their site and the surrounding area in terms of the relationship to existing buildings, open space areas and the coastal landscape.
- To ensure that subdivision and development proposals have proper regard to heritage values, including those of adjoining foreshore areas.
- To ensure that buildings do not encroach visually on foreshore areas or main roads.
- To ensure that the traffic generated by medium density residential development does not detrimentally affect the safety, efficiency or amenity of existing residential streets or main roads.
- To indicate residential areas adjacent to the foreshore and commercial centres of Rosebud and Dromana that will provide for a range of medium density residential living in conjunction with a limited range of service and leisure based commercial uses.

#### 2.0

09/10/2014  
C179

#### Buildings and works

##### No permit required

A permit is not required to construct a building or construct or carry out works for any of the following, but only if the General requirements set out in this schedule are met.

- A single dwelling on a lot. This does not include a dwelling on a lot that adjoins Point Nepean Road.
- A dependent person's unit.

*Note: The Mandatory requirements of this schedule also apply.*

##### Permit required

An application to construct a building or construct or carry out works should meet the General requirements of this schedule.

*Note: The Mandatory requirements of this schedule also apply.*

In the General Residential Zone or Neighbourhood Residential Zone, an application to construct a building or construct or carry out works associated with one dwelling on a lot:

- Must comply with Clause 54.01.
- Must meet all of the objectives and should meet all of the standards of Clause 54.02, 54.03-3, 54.03-4, 54.03-5, 54.03-6, 54.03-7; 54.04-2; 54.04-3, 54.04-4, 54.04-5, 54.04-6, 54.05, 54.06-1.
- Must meet the objectives of Clauses 54.03-1, 54.03-2 and 54.04-1.

### **General requirements**

- Buildings must be set back at least 10 metres from a Public Park and Recreation Zone, Public Conservation and Resource Zone or the Nepean Highway and the first 5 metres must be landscaped to the satisfaction of the responsible authority.
- No building may exceed a wall height of 5.5 metres or a building height of 6 metres.
- The difference between finished ground level and natural ground level as a result of excavation and filling must not exceed one metre, except for the purpose of constructing an in ground swimming pool, and all works must be properly battered or stabilised.

### **Mandatory requirements**

The following requirements apply, as appropriate, to all buildings and works, whether or not a permit is required.

#### **Maximum building height**

A building must have a maximum building height of no more than 10 metres and must contain no more than 2 storeys above natural ground level. This does not apply to any of the following:

- A place of assembly building
- A leisure and recreation building
- A utility installation building
- A hospital
- An education centre
- A building that complies with height provisions specified in a plan approved under a schedule to the Development Plan Overlay.
- Alteration to or extension of a lawfully existing building but only if all of the following requirements are met:
  - The existing building has a building height of more than 8 metres or contains 3 or more storeys above natural ground level.
  - The maximum building height of the existing building is not exceeded.
  - The external bulk of the existing building is not significantly increased.
  - The footprint of the upper storey, existing at the approval date, is not increased by more than 10%.

These requirements cannot be varied with a permit.

### **Decision guidelines**

Before deciding on an application the responsible authority must consider:

- The design objectives of this schedule.
- Where an objective has been applied from Clause 54.02 to 54.06, inclusive, the relevant decision guidelines from that Clause.
- Whether any loss of amenity will result from a variation to the requirements of this schedule.
- Any relevant development plan, heritage study, code or policy relating to the protection and development of land in the area.
- Whether opportunities exist to avoid a building being visually obtrusive by the use of alternative building designs, including split level and staggered building forms, that follow the natural slope of the land and reduce the need for site excavation or filling.

## MORNINGTON PENINSULA PLANNING SCHEME

- The effect of any proposed subdivision or development on the environmental and landscape values of site and of the local area, including the effect on streamlines, foreshores, areas of remnant vegetation, areas prone to erosion and on the amenity and accessibility of areas of public open space.
- The need to ensure that the design of development has adequate regard to fire risk and includes appropriate fire protection measures.
- The suitability of each lot to accommodate a dwelling.

# Due diligence checklist

## What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](http://consumer.vic.gov.au/duediligencechecklist) (consumer.vic.gov.au/duediligencechecklist).

### Urban living

#### Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

#### Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

### Growth areas

#### Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

### Flood and fire risk

#### Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

### Rural properties

#### Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

#### Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

#### Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

### Soil and groundwater contamination

#### Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

(04/10/2016)

## **Land boundaries**

### **Do you know the exact boundary of the property?**

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

## **Planning controls**

### **Can you change how the property is used, or the buildings on it?**

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

### **Are there any proposed or granted planning permits?**

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

## **Safety**

### **Is the building safe to live in?**

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

## **Building permits**

### **Have any buildings or retaining walls on the property been altered, or do you plan to alter them?**

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

### **Are any recent building or renovation works covered by insurance?**

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

## **Utilities and essential services**

### **Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?**

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

## **Buyers' rights**

### **Do you know your rights when buying a property?**

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.