

TREE PROTECTION
6. TREE PROTECTION MUST BE CARRIED OUT IN ACCORDANCE WITH THE AUSTRALIAN STANDARD AS 4970-2009 PROTECTION OF TREES ON DEVELOPMENT SITES TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

7. PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT (INCLUDING DEMOLITION AND ANY INITIAL SITE PREPARATIONS) TREE PROTECTION FENCING (TPF) MUST THEN BE ERECTED AT THE APPLICABLE RADIAL TPZS. THE TPF MUST COMPRISE TEMPORARY FENCING PANELS (MIN. 1.8M HEIGHT) AND HELD IN PLACE WITH CONCRETE FEET. A FIXED SIGN STATING TREE PROTECTION ZONE IS TO BE PROVIDED ON ALL VISIBLE SIDES OF THE TPF. ALL TREE PROTECTION ZONES, FENCING AND SIGNAGE MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

THE REQUIREMENTS BELOW MUST BE OBSERVED WITHIN THIS AREA -

a) COARSE MULCH LAID TO A DEPTH OF 75 MM (EXCLUDING ROAD RESERVE OF STREET TREES).
b) NO VEHICULAR OR PEDESTRIAN ACCESS.
c) THE EXISTING SOIL LEVEL MUST NOT BE ALTERED EITHER BY FILL OR EXCAVATION.
d) THE SOIL MUST NOT BE COMPACTED OR THE SOIL'S DRAINAGE CHANGED.
e) NO FUELS, OILS, CHEMICALS, POISONS, RUBBISH OR OTHER MATERIALS HARMFUL TO TREES ARE TO BE DISPOSED OF OR STORED.
f) NO STORAGE OF EQUIPMENT, MACHINERY OR MATERIAL IS TO OCCUR.
g) NO OPEN TRENCHING TO LAY UNDERGROUND SERVICES.
h) NOTHING WHATSOEVER IS TO BE ATTACHED TO ANY TREE.
i) TREE ROOTS MUST NOT BE SEVERED OR INJURED.
j) ALL TREE PRUNING (INCLUDING TO ROOTS) IS TO BE CARRIED OUT BY A PROFESSIONAL ARBORIST AND IN ACCORDANCE WITH AUSTRALIAN STANDARD AS4373-2007 PRUNING OF AMENITY TREES.

NOTE: WHERE TPF IS IMPRACTICAL, FORMALISED GROUND PROTECTION MUST BE INSTALLED. GROUND PROTECTION MUST COMPRISE STRAPPED TIMBER RUMBLE BOARDS INSTALLED OVER THE PREVIOUSLY INSTALLED LAYER OF MULCH. THE TREE PROTECTION FENCE MUST REMAIN IN PLACE FOR THE DURATION OF BUILDING AND WORKS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

LEGEND

FINISHES

- DENOTES LAWN AND LANDSCAPING
- DENOTES ALL-WEATHER SEAL COATED CONC
- DENOTES T/PINE OR MERBAU DECKING (PERMEABLE)
- DENOTES PAVERS ON SAND BASE OR PATTERNED PAVED CONCRETE AS SELECTED.
- DENOTES PAVERS ON LILYDALE TOPPINGS OR SIM. (PERMEABLE)
- DRAINAGE, LEGAL POINT OF DISCHARGE AND SEWER PIPES
- EXTENT OF 600MM HIGH LATTICE EXTENSION ON 1.8M PALING FENCE
- FINISHED FLOOR OR SURFACE LEVEL
- CLOTHES LINE
- SECURITY LIGHT: 'SENSOR LIGHT'
- BOLLARD LIGHT
- STAND PIPE AT TAPPING METRE AS REQ'D BY LOCAL AUTHORITY.
- TAP
- OPTIONAL SOLAR HOT WATER SERVICE LOCATION.
- GAS METER
- ELEC. METER BOX
- OPTIONAL WATER TANK LOCATION.
- RUBBISH AND RECYCLE BIN LOCATION
- COLLAPSIBLE COLORBOND SHED IN MUTED TONES ON 100MM CONC. SLAB
- RETAINING WALL AS PER PLAN TREATED PINE SLEEPER WITH AGG. DRAIN - OR REFER ENG. DESIGN
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- EXTENT OF TREE PROTECTION FENCING. FENCING MUST BE ERECTED PRIOR TO COMMENCEMENT OF ANY WORKS ON SITE. - REFER TO LANDSCAPE PLAN FOR SPECIFIC DETAILS.

NOTES

- NO PLANT OR EQUIPMENT OR SERVICES OTHER THAN THOSE SHOWN ON THESE PLANS ARE TO BE ERECTED ABOVE THE ROOF LEVEL WITHOUT THE APPLICATION OF AMENDMENT TO PERMIT AS APPROPRIATE.
- ALL WALLS ON BOUNDARY MUST BE CLEANED AND FINISHED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY
- BEFORE OCCUPATION OF THE DWELLINGS, THE AREA SET ASIDE FOR CARPARKING AND PATHS MUST BE:
 - A) CONSTRUCTED
 - B) PROPERLY FORMED SO THEY MAY BE USED IN ACCORDANCE WITH THE PLANS.
 - C) SURFACED WITH AN ALL WEATHER SEAL COAT
 - D) DRAINED
- VEHICULAR CROSSINGS MUST BE CONSTRUCTED TO THE ROAD TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. ANY EXISTING CROSSOVER PROPOSED TO BE REMOVED MUST BE REPLACED WITH FOOTPATH, NATURE STRIP AND KERB AND CHANNEL TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. SEPARATE APPLICATION OF CROSSOVER AND ASSET PROTECTION PERMIT MUST BE MADE PRIOR TO COMMENCEMENT OF ANY WORKS.
- BEFORE OCCUPATION OF THE DWELLINGS, OR BY LATER DATE AS APPROVED LANDSCAPING MUST BE COMPLETED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. ALL TREE PROTECTION FENCING MUST BE INSTALLED PRIOR TO ANY WORKS. ALL VEGETATION MANAGEMENT MUST BE CARRIED OUT IN ACCORDANCE WITH A.S.4373 AND IN ACCORDANCE WITH ANY FURTHER WRITTEN CONDITIONS AS IMPOSED BY THE RESPONSIBLE AUTHORITY.

PRIOR TO OCCUPATION

- THE LANDSCAPING AS SHOWN ON THE ENDORSED LANDSCAPE PLAN MUST BE CARRIED OUT AND COMPLETED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY BEFORE THE OCCUPATION OF THE DEVELOPMENT AND/OR COMMENCEMENT OF THE USE OR AT SUCH LATER DATE AS IS APPROVED BY THE RESPONSIBLE AUTHORITY IN WRITING.
- THE LANDSCAPING SHOWN ON THE ENDORSED PLANS MUST BE MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY, INCLUDING THAT ANY DEAD, DISEASED OR DAMAGED TREES ARE TO BE REPLACED.

URBAN DESIGN

- ALL WORKS ON OR FACING THE BOUNDARIES OF ADJOINING PROPERTIES MUST BE FINISHED AND SURFACE CLEANED TO A STANDARD THAT IS WELL PRESENTED TO NEIGHBOURING PROPERTIES IN A MANNER TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- MAILBOXES SHALL BE PROVIDED TO THE PROPOSED DWELLING/S TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AND AUSTRALIA POST.
- ALL PLUMBING WORK, SEWER PIPES ETC. (EXCEPT FOR SPOUTING AND STORMWATER PIPES) ASSOCIATED WITH THE NEW DWELLING SHALL BE CONCEALED FROM GENERAL VIEW.
- OUTDOOR LIGHTING MUST BE PROVIDED, DESIGNED, BAFFLED AND LOCATED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY TO PREVENT ANY ADVERSE EFFECT ON NEIGHBOURING LAND.

Andrew Ferris Drafting and design	Client: TRENT SPENCER
19 Colonsaier Way, Langwarrin Vic 3910 andrew@ferrisdesign.com.au www.ferrisdesign.com.au Ph: (03) 9789 7976 M: 0413 113074 © Copyright	Job Address: 3 NORFOLK CRES, FRANKSTON NORTH Melways Ref: MELWAYS REF: 99 J7 V. 08484 F. 965 LOT 394 ON PS 1107-016 PROPOSED DWELLING AND CARPORT

NOTE: PLANNING DRAWINGS ARE NOT TO BE USED FOR BUILDING PERMIT APPLICATIONS

Issue	Date	Description	Issue	Date	Description
B					
C	09/03/22	Planning Permit revision			
D	02/06/22	For Endorsement			

REGISTERED Building Practitioner No 32526	Issue: TP_D	Sheet: 2 of 5
Design Matters Member	Date: JUN 22	Dwg No: 21-064
	Scale: 1 : 100	Drawn: AF

GROUND FLOOR DESIGN RESPONSE PLAN 1:100

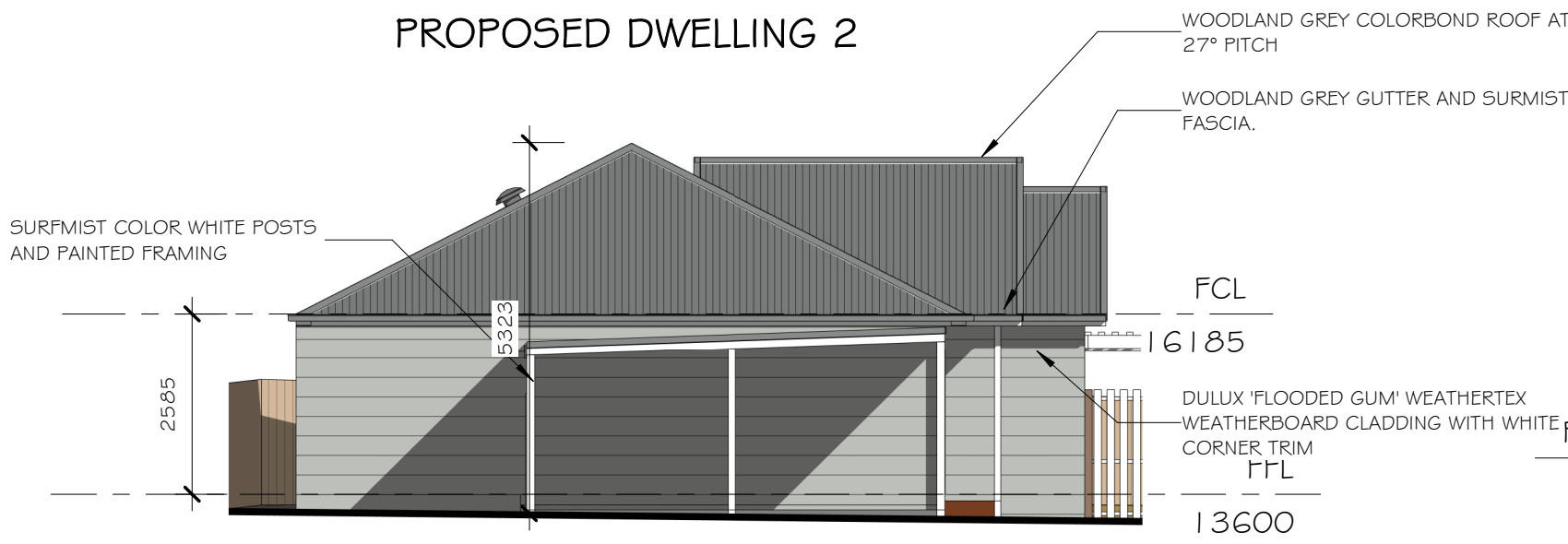
LEVELS ARE TO AHD

DIMENSIONS & LEVELS TO BE VERIFIED
PRIOR TO COMMENCEMENT OF WORKS
ALL BOUNDARY FENCING TO BE RETURNED
TO TITLE BOUNDARY WHERE SURVEY PROVIDED
UNLESS OTHERWISE NOTED.

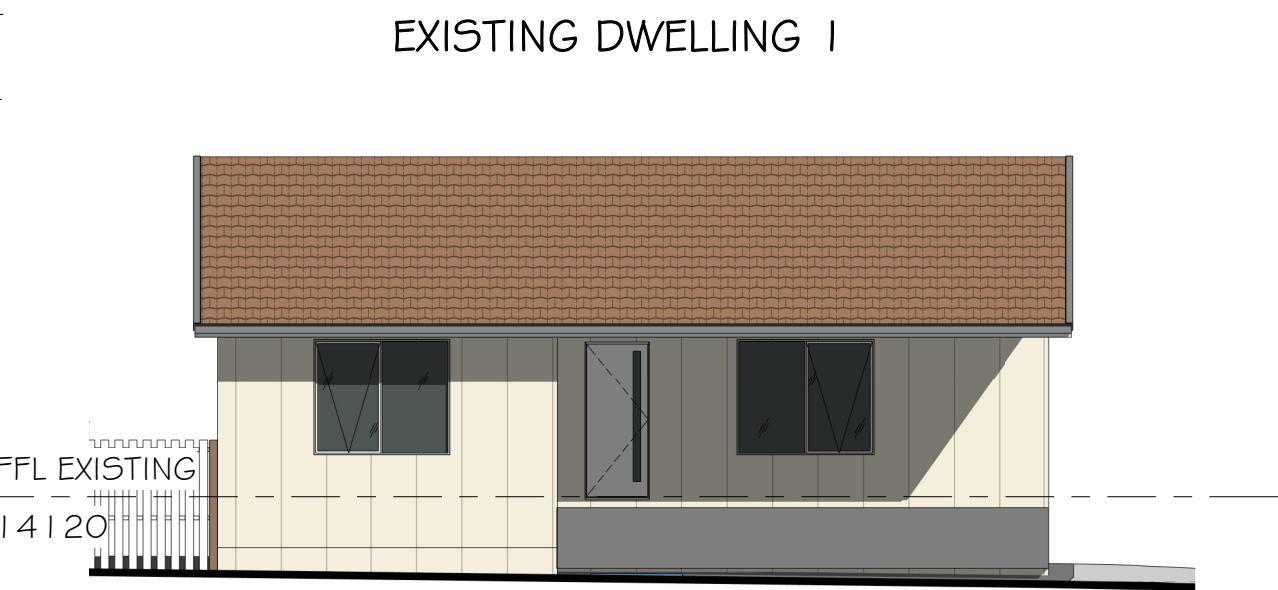


STATISTICS

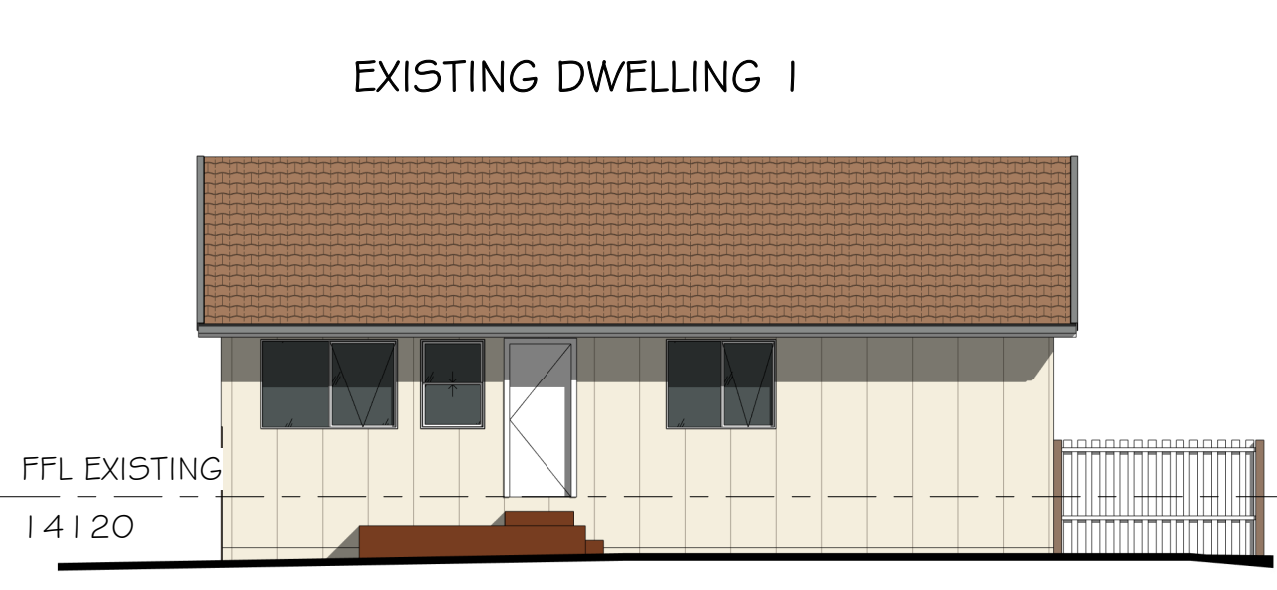
SITE AREA	640.0m²
RESIDENCE 1	EXISTING
PORCH / DECK	EXISTING
CARPORT	PROPOSED
PORCH / DECK	EXISTING
RESIDENCE 2	PROPOSED
PORCH / DECK	PROPOSED
GARAGE	PROPOSED
OPEN PERGOLA	PROPOSED
SITE COVER	241.2m²
SITE COVER RATIO	37.6%
DRIVEWAYS	123.3m²
DRAINED PAVED AREAS	NIL
HARD COVER AREA:	364.5m²
HARD COVER RATIO:	56.9%
GARDEN AREA REQUIREMENT:	30%
GARDEN AREA RATIO:	40.5%
FRONTAGE:	18.29m
DENSITY ACHIEVED:	1:325
CARPARKING	
SPACES REQUIRED	4
SPACES PROVIDED	4
STREET CAR SPACES	1
ROAD WIDTH	7.5m



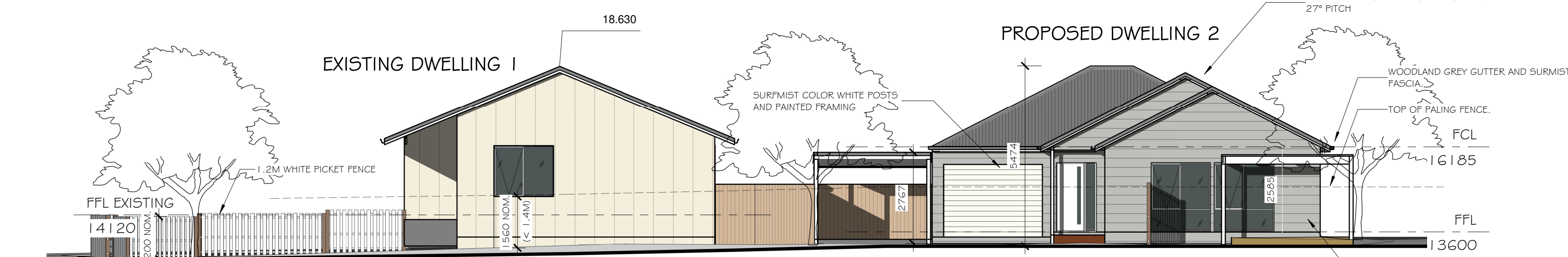
NORTH-EAST ELEVATION 1:100



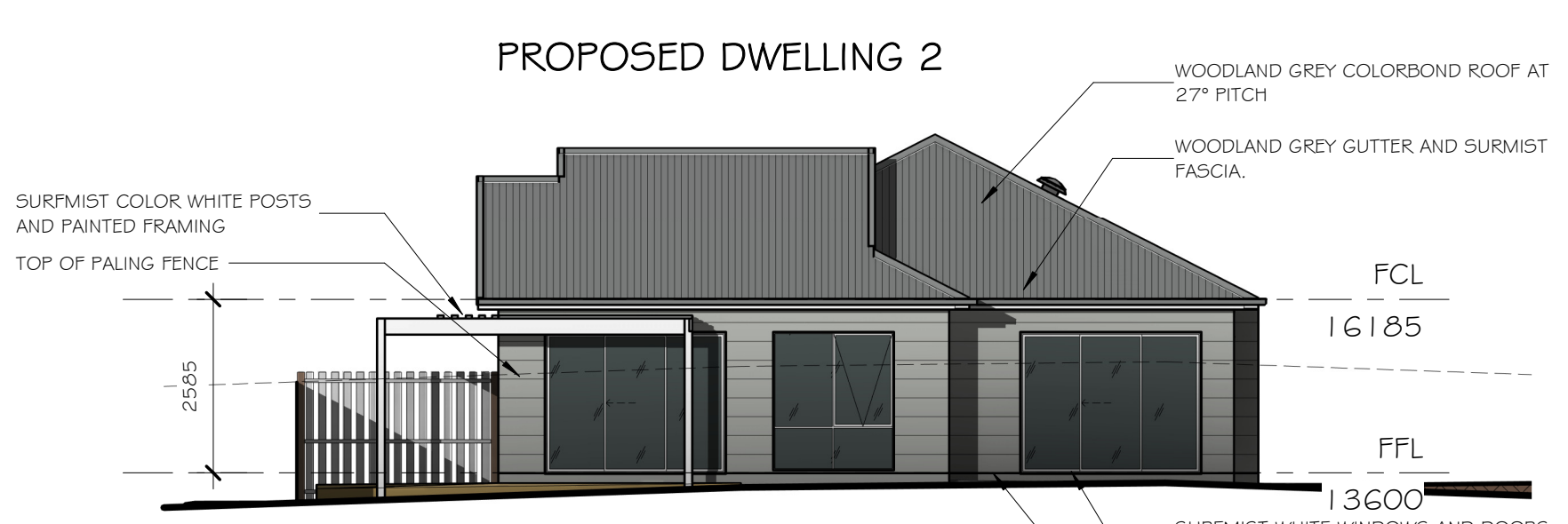
NORTH-EAST ELEVATION 1:100



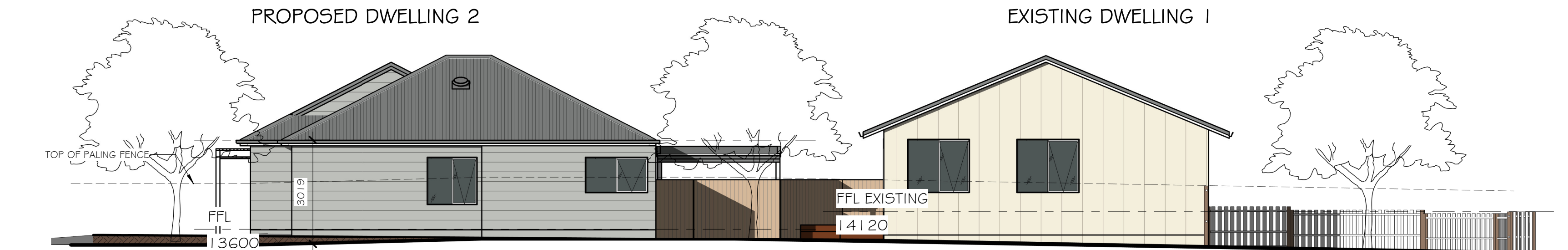
SOUTH-WEST ELEVATION 1:100



NORTH-WEST ELEVATION 1:100



SOUTH-WEST ELEVATION 1:100



SOUTH-EAST ELEVATION 1:100



PROPOSED CARPORT FOR EXISTING AND REAR DWELLING FROM DRIVEWAY ENTRANCE



EXISTING DWELLING WITH EXISTING PICKET FENCE SLIGHTY ALTERED IN LOCATION TO FACILITATE MAIL AND SERVICING TO REAR DWELLING ALONG WITH SIGHTLINE REQUIREMENTS



PROPOSED NORTH-WEST CORNER TREATMENT TO ADDRESS SOLAR

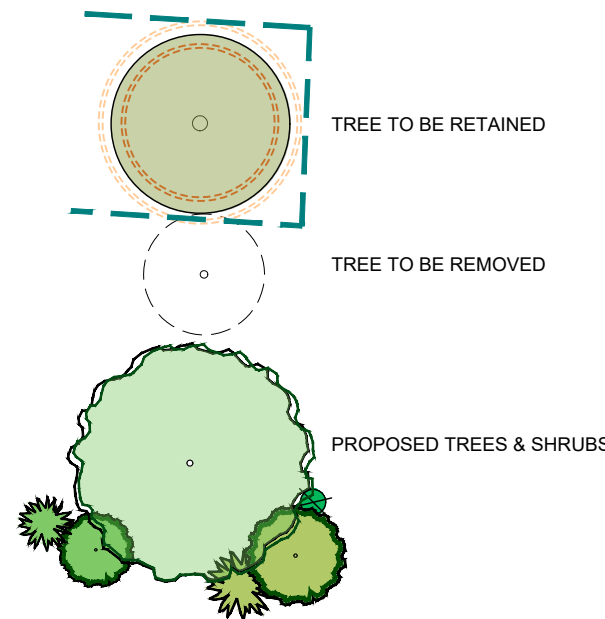


STREET ELEVATION 1:100



Schedule of finishes

	LAWN (SEEDED)
	ALL-WEATHER SEAL COATED CONC
	CONCRETE PAVERS 600 x 600
	GRANATIC SAND OR SIM.
	PERMEABLE SURFACE
	EUCY MULCHEDLAWN GARDEN BED
	T/PIPE OR MERBAU DECKING



TREE PROTECTION
TREE PROTECTION MUST BE CARRIED OUT IN ACCORDANCE WITH THE AUSTRALIAN STANDARD AS 4970-2009 PROTECTION OF TREES ON DEVELOPMENT SITES TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT (INCLUDING VEGETATION REMOVAL), A TREE PROTECTION FENCE DEFINED BY A 1.8 METRE HIGH (MINIMUM) TEMPORARY FENCE CONSTRUCTED USING STEEL OR TIMBER POSTS FIXED IN THE GROUND OR TO A CONCRETE PAD, WITH THE FENCE'S PANELS TO BE CONSTRUCTED OF CYCLONE MESH WIRE OR SIMILAR STRONG METAL MESH OR NETTING WITH A HIGH VISIBILITY PLASTIC HAZARD TAPE, MUST BE INSTALLED AT THE TREE PROTECTION ZONES TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. A FIRM SIGN IS TO BE PROVIDED ON ALL VISIBLE SIDES OF THE TREE PRESERVATION FENCING, STATING 'TREE PRESERVATION ZONE - NO ENTRY WITHOUT PERMISSION FROM THE FRANKSTON CITY COUNCIL'.

1. Tree protection must be carried out in accordance with the Australian Standard AS 4790-2009 *Protection of Trees on Development Sites* to the satisfaction of the Responsible Authority.
 2. Prior to the commencement of the development (including demolition and any initial site preparations) Tree Protection fencing (TPF) must then be erected at the applicable radial (TP2). The TPF must comprise temporary fencing panels (min. 1.2m height) and held in place with concrete feet. A flag sign stating Tree Protection zone is to be provided on all visible sides of the TPF. All free protection zones must be provided to the satisfaction of the Responsible Authority.
 - a. The requirements below must be observed within this area:
 - i. No excavation or trenching to be carried out within the zone.
 - ii. No vehicle or pedestrian access.
 - iii. The existing soil level must not be altered either by fill or excavation.
 - iv. The soil must not be compacted or the soil's drainage changed.
 - v. No fuels, oils, chemicals, poisons, rubbish or other materials harmful to trees are to be disposed of or stored.
 - vi. No storage of equipment, machinery or material is to occur.
 - vii. No open trenching to lay underground services.
 - viii. Nothing whatsoever is to be attached to any tree.
 - ix. Tree roots must not be severed or injured.
 - b. All tree pruning (including not to be carried out by a professional arborist and in accordance with Australian Standard AS4373-2007 *Pruning of Amenity Trees*).
- GROUND PROTECTION**
- THE FOLLOWING TREE PROTECTION CONDITIONS APPLY WITHIN THE IDENTIFIED TREE PROTECTION ZONES AS NOMINATED ON THE DEVELOPMENT PLANS. ALL TREE PROTECTION CONDITIONS MUST BE UNDERTAKEN TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
3. NO EXCAVATION WORKS ARE PERMITTED FOR THE CONSTRUCTION OF THE DRIVEWAY.
 4. THE EXISTING DRIVEWAY IS TO BE REMOVED BY HAND WITH WORKS OVERSEEN BY A SUITABLY QUALIFIED AND EXPERIENCED ARBORIST.
 5. NO COMPACTION AND DAMAGE TO THE EXISTING DRIVEWAY OR LAYERS OF ORGANIC MULCH 200 MM THICK MUST BE Laid WITH RUMBLE GRASS/ANAKS/ CROSSLING PLANKS LAID ABOVE THE MULCH IMMEDIATELY AFTER THE EXISTING DRIVEWAY IS REMOVED. THIS GROUND PROTECTION IS TO BE MAINTAINED UNTIL THE CONSTRUCTION OF THE NEW DRIVEWAY IS COMPLETED.
 6. NO FUELS, OILS, CHEMICALS, POISONS, RUBBISH OR OTHER MATERIALS HARMFUL TO TREES ARE TO BE DISPOSED OF OR STORED.
 7. NO STORAGE OF EQUIPMENT, MACHINERY OR MATERIAL IS TO OCCUR.
 8. OPEN TRENCHING TO LAY UNDERGROUND SERVICES E.G. DRAINAGE, WATER, GAS, ETC. MUST NOT BE USED UNLESS APPROVED BY THE RESPONSIBLE AUTHORITY.
 9. IF PROPERTY BOUNDARY FENCING IS TO BE REMOVED, A TREE PROTECTION FENCE DEFINED BY A 1.8 METRE HIGH (MINIMUM) TEMPORARY FENCE CONSTRUCTED USING STEEL, OR TIMBER POSTS FIXED IN THE GROUND OR TO A CONCRETE PAD, WITH THE FENCING PANELS TO BE CONSTRUCTED OF 1.8 METRE HIGH WITH SIMILAR STRONG METAL MESH OR NETTING WITH A HIGH VISIBLE PLASTIC HAZARD TAPE, MUST BE INSTALLED AT THE PROPERTY FENCE LINE.
 10. IF MACHINERY IS USED TO REMOVE EXISTING STRUCTURES, CONCRETE, BRICKS OR OTHER MATERIALS IT MUST BE LOCATED OUTSIDE OF THE DEFINED TREE PROTECTION ZONE WITH ONLY THE MAIN ARM OF THE MACHINE BRACING INTO THIS ZONE.

GENERAL NOTES

1. ALL TREE PLANTING IS TO BE CARRIED OUT BY A QUALIFIED AND EXPERIENCED ARBORIST WHO HAS A THOROUGH KNOWLEDGE OF TREE PHYSIOLOGY AND PRUNING METHODS. PRUNING MUST BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD AS4373-2007 PRUNING OF AMENITY TREES.
2. ALL PLANTING WORKS ARE TO BE UNDERTAKEN WHEN THESE WORKS SHOULD BE CARRIED OUT PRIOR TO ANY CONSTRUCTION WORKS BEGINNING ON SITE. ANY PRUNING OF TREES LOCATED ON A NEIGHBOURING PROPERTY SHOULD BE UNDERTAKEN IN CONSULTATION WITH THE PROPERTY OWNER.
3. PRUNE PLANTS TO CONTROL THEIR SIZE, GIVE THEM AN APPROPRIATE FORM AND MAINTAIN THEIR VIGOR. TREES SHOULD BE PRUNED TO MAINTAIN STRONG BRANCH FRAMEWORKS AND SHRUBS TO OBTAIN THEIR DESIRED DENSITY AND HEIGHT.
4. ALL PLANTING IS TO BE CARRIED OUT TO PREPARE GARDEN BEDS AT A MIN 75MM DEPTH.
5. ALL EXISTING ENVIRONMENTAL WEED SPECIES ARE TO BE REMOVED FROM THE SITE AND ENVIRONMENTAL AND NOXIOUS WEEDS FOUND IN THE 'SUSTAINABLE GARDENING IN FRANKSTON CITY' [2018] BOOKLET ARE NOT TO BE PLANTED.
6. ALL GARDEN BEDS TO BE FORMED WITH TIMBER EDGING
7. IN-GROUND IRRIGATION SYSTEM TO BE PROVIDED TO ALL LANDSCAPED AREAS.
8. HIGH QUALITY STOCK IS TO BE SELECTED WITH STRAIGHT TRUNK AND SINGLE LEADER
9. All tree stock used must be in accordance with AS2303-2013 Tree stock for Landscape Use
10. ALL 'INTERIOR' TREES SHALL BE COMPLETED WITH A SUFFICIENTLY TO CONSOLIDATE THE BACKFILL AROUND THE ROOTS.
11. EXCAVATE PLANTING HOLE 400MM GREATER THAN ROOT BALL TRUNK AND PLANT TREE AT GROUND LEVEL WITH ROOT BALL RESTING ON THE BASE OF HOLE. ROOT BALL IS TO BE TEASED OUT AND PRUNED PRIOR TO PLANTING, ENSURING NO ROOTS ARE PROTRUDING ABOVE THE FINISHED SURFACE.
12. CONTRACTOR TO SUPPLY AND INSTALL ALL TREES
13. FERTILIZE LAWN TO MAINTAIN VIGOR. MORE REGULARLY TO PROVIDE A USEABLE AND NEAT SURFACE.
14. CULTIVATE ALL GARDEN BED AREAS TO A DEPTH OF 200MM WHERE SAFE TO DO SO (IE AWAY FROM PIPES AND TREE PROTECTION ZONES) AND ADD GYPSSUM AT AN APPLICATION RATE OF 10G / SQ METER DURING CULTIVATION PROCEDURE.
15. ALL EXISTING ENVIRONMENTAL WEED SPECIES ARE TO BE REMOVED FROM THE SITE AND ENVIRONMENTAL AND OTHER EXTERNAL MATERIALS GREATER THAN 20MMxLANDSCAPE CONTRACTOR TO SUPPLY AND SPREAD APPROVED TOPSOIL TO GARDEN BEDS AREAS. IMPORTED TOPSOIL, IF REQUIRED, SHALL BE SANDY LOAM TEXTURE WITH PH OF 6-7 AND BE FREE FROM RUBBLE STONE AND EXTRANEOUS MATERIAL.
16. GARDEN BEDS SHALL HAVE A DEPTH OF 150MM TOPSOIL AND GRASSED AREAS A DEPTH OF 75MM
17. All existing environmental weed species are to be removed from the site and environmental and noxious weeds found in the 'Frankston City Council Invasive Species Guide [2019]' are not to be planted.

Diagram illustrating a tree planting method:

- 50mm FABRIC TIE W/ FIGURE 8 FIXING AT 1/3 HEIGHT OF TREE
- SLOPING SHALLOW EXCAVATION 2-3 TIMES WIDTH OF ROOT BALL
- ROOT BALL BACKFILLED WITH SITE SOIL
- ROTARY HOE AND GYPNUM BALL CLAY SUB GRADE SOIL
- NEW TREE
- 3Øx3Øx2400mm LONG HARDWOOD STAKE
- LAYER OF MULCH BEYOND EDGE OF EXCAVATION 4 AWAY FROM TRUNK
- EXCAVATION DEPTH TO BE NO DEEPER THAN ROOT BALL

A cross-sectional diagram of a potted plant. The plant is in a pot with a 75mm high saucer underneath. The root ball is visible at the base of the stem. A layer of mulch is applied around the base of the stem, but it is kept clear of the stem itself. The area around the root ball is filled with topsoil backfill. Labels with leader lines point to the following components: POTTED PLANT, 75MM H SAUCER, ROOT BALL, MULCH (CLEAR OF STEM), and TOPSOIL BACKFILL.

Diagram illustrating the components and dimensions of a tree pit:

- TUBESTOCK
- 3 No 900x25x25 HARDWOOD STAKES
- 500mm HIGH CLEAR PLASTIC PLANT GUARD
- ROOT BALL
- MULCH MOUND (CLEAR OF STEM)
- 500
- 100
- 200
- 400
- CULTIVATED SOIL TO 200mm

GARDEN BED

2 x 75mm FLAT HEAD GAL NAILS

LAWN

100x25 SEASONED SAWN
HARDWOOD EDGING
FLUSH WITH FINISHED GRADE

50x50x450 HARDWOOD OR TPINE STAKE
FINISHED 20mm BELOW TOP OF EDGING
SPACED AS REQUIRED TO MAINTAIN
CURVES, MAX 1.5M CENTRES



DRIVEWAY ENTRANCE NOTE: PROVIDE A CORNER DISPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD, TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE, WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS PROVIDED. THE LANDSCAPING IN THOSE AREAS IS LESS THAN 800MM IN HEIGHT.

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Client:		TRENT SPENCER	
Job Address: 3 NORFOLK CRES, FRANKSTON NORTH			
Title:		LANDSCAPE PLAN	
Issue Amendments:			
A	Date 3/2022	Description For Town Planning	
Issue:	A	Sheet	1 of 1
Date:	March 2022	Dwg. No:	21-064
Scale:	As Shown	Drawn:	T EDNEY

Landscape plan 1:100

PROPOSED DEVELOPMENT DESCRIPTION

The site is an existing 640m² residential allotment with a single storey dwelling at the front, which is to be retained, and with an additional single storey two bedroom dwelling proposed to be constructed towards the rear. The development has a total impervious area of 365m² giving an impervious fraction of 57%. The existing dwelling will have a new external concrete car parking space at the front, while the rear dwelling and carport for the front residence will be accessed via a new concrete driveway along the northern boundary. The stormwater management response is summarised as follows:

- 100% of the roof of the existing dwelling drains to a 3000 litre rainwater harvesting tank which is plumbed for toilet flushing and laundry use. The tank's overflow is connected to the underground infiltration tank.
- 53% of the roof of the rear dwelling also drains to a 3000 litre rainwater tank and its overflow, together with a further 35% of the roof area and carport 1 roof, drains to the underground infiltration tank.
- The remaining area of the roof drains to the Council's legal point of discharge without treatment.
- 43% of the site is pervious, including the open space areas provided in the front and rear yards (meeting the minimum 30% garden area requirement).
- The site has sufficient space allocation for the creation of green recreational areas for residents. Planting of trees and native ground covers will contribute towards cooling and providing attractive and enjoyable spaces.
- Figure 1 below shows the WSUD assets and their required drainage connections. Refer to KCE Consulting Engineers Drainage Plan (Ref: 22/087, Sheets D1 & D2 of 2) for further details of each WSUD asset.

SURFACE TYPE	CATCHMENT AREA (m ²)
Existing Dwelling 1	
Roof to Rainwater Tank	118
Carport 1 to Infiltration Tank	22
Driveway to Street	46
Pervious/Garden	172
Rear Dwelling 2	
Roof to Rainwater Tank	66
Roof to Infiltration Tank	44
Roof to L.P.D.	15
Driveway to Infiltration Tank	77
Pervious/Garden	80
Total Site Area:	640m ²
Total Impervious Area:	365m ²

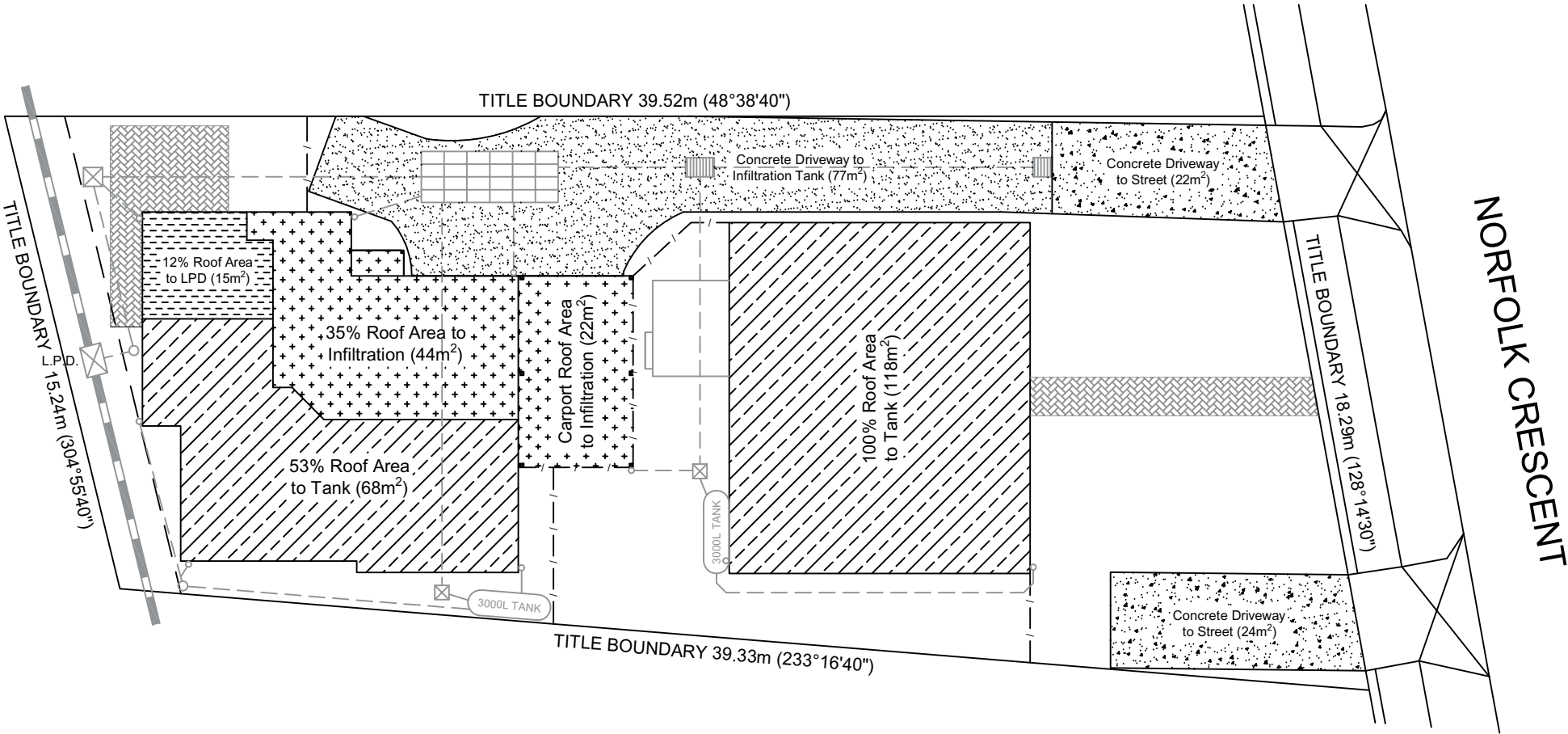
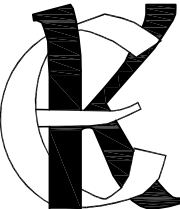


FIGURE 1: SITE LAYOUT PLAN, CATCHMENT AREAS & WSUD TREATMENT SYSTEMS

FRANKSTON CITY COUNCIL
PLANNING AND ENVIRONMENT ACT 1987
FRANKSTON PLANNING SCHEME

Plan endorsed as part of Planning Permit No. 410/2021/P

Council Delegate: Katherine Ritchie Date: 8 June 2022
Page 4 of 5



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CLIENT: SPENCER AUST PTY LTD

SITE: LOT 394, No. 3 NORFOLK CRESCENT,
FRANKSTON NORTH

REFERENCE: 22/087 DATE: 05/2022

APPROVED: Francis Collins SHEET: 1 OF 1



STORM Rating Report

TransactionID: 1367286
Municipality: FRANKSTON
Rainfall Station: FRANKSTON
Address: No. 3 Norfolk Crescent

Frankston North
VIC 3200

Assessor: Francis Collins
Development Type: Residential - Multiunit
Allotment Site (m2): 640.00
STORM Rating %: 140

**FRANKSTON CITY COUNCIL
PLANNING AND ENVIRONMENT ACT 1987
FRANKSTON PLANNING SCHEME**

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**Council Delegate: Katherine Ritchie Date: 8 June 2022
Page 5 of 5**

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Dwelling 1 to Rainwater Tank	118.00	Rainwater Tank	3,000.00	3	116.60	96.20
Dwelling 2 to Rainwater Tank	68.00	Rainwater Tank	3,000.00	2	136.00	93.50
Dwelling 2 to Infiltration Tank	44.00	Infiltration Sand	6.86	0	222.00	0.00
Carport 1 to Infiltration Tank	22.00	Infiltration Sand	6.86	0	222.00	0.00
Dwelling 2 to LPD	15.00	None	0.00	0	0.00	0.00
Driveways to Street	46.00	None	0.00	0	0.00	0.00
Driveway to Infiltration Tank	77.00	Infiltration Sand	6.86	0	222.00	0.00